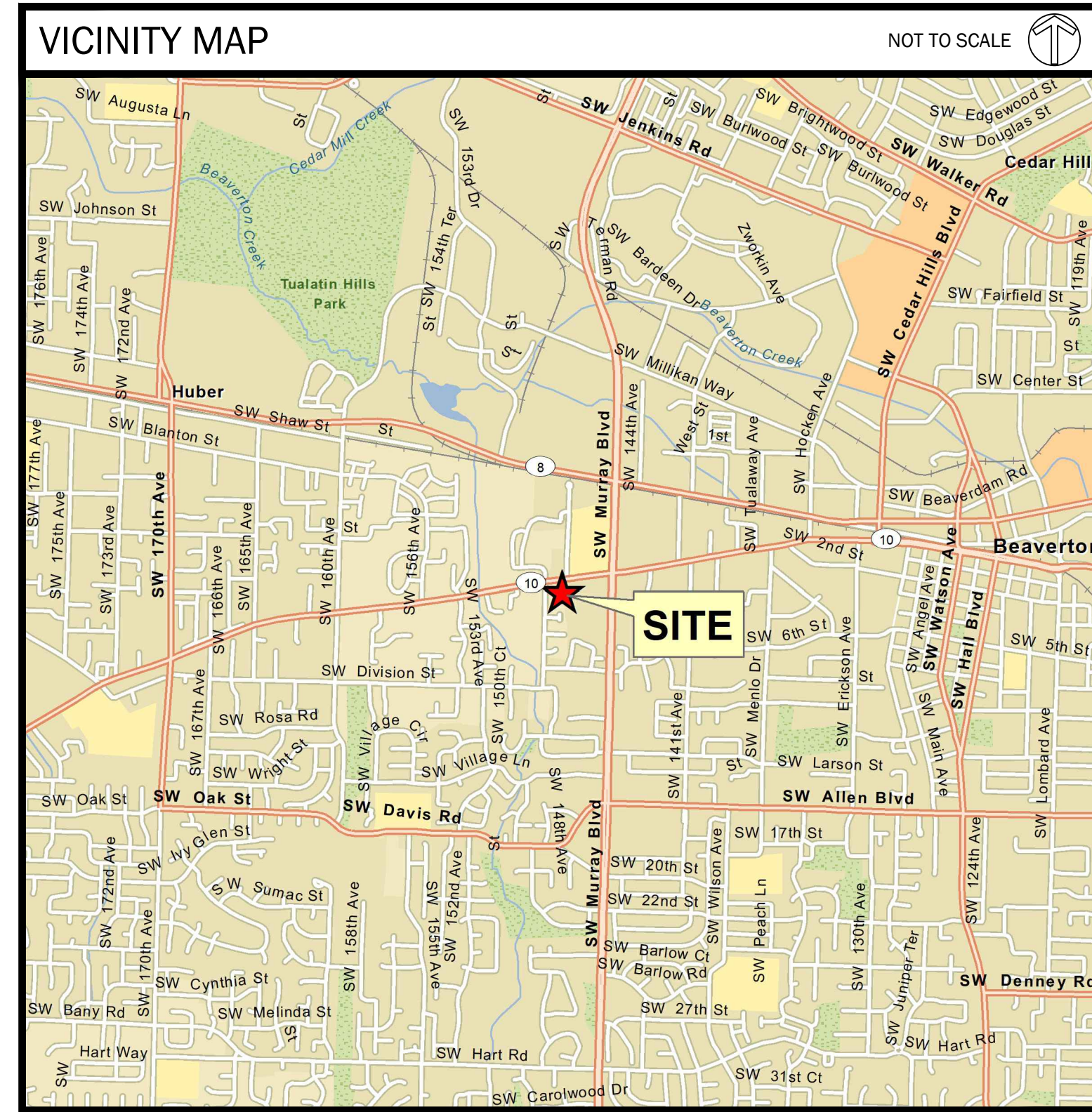
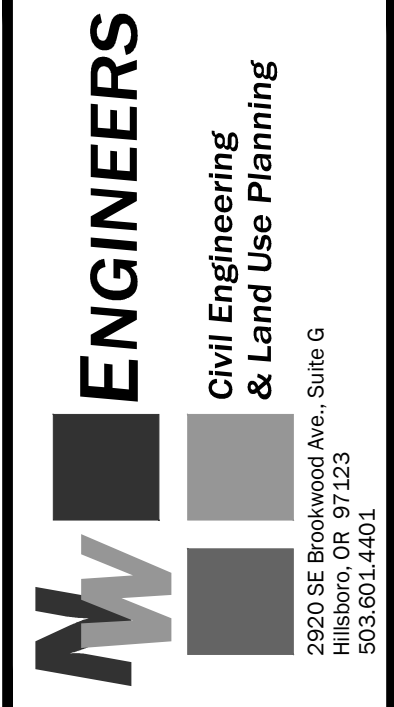
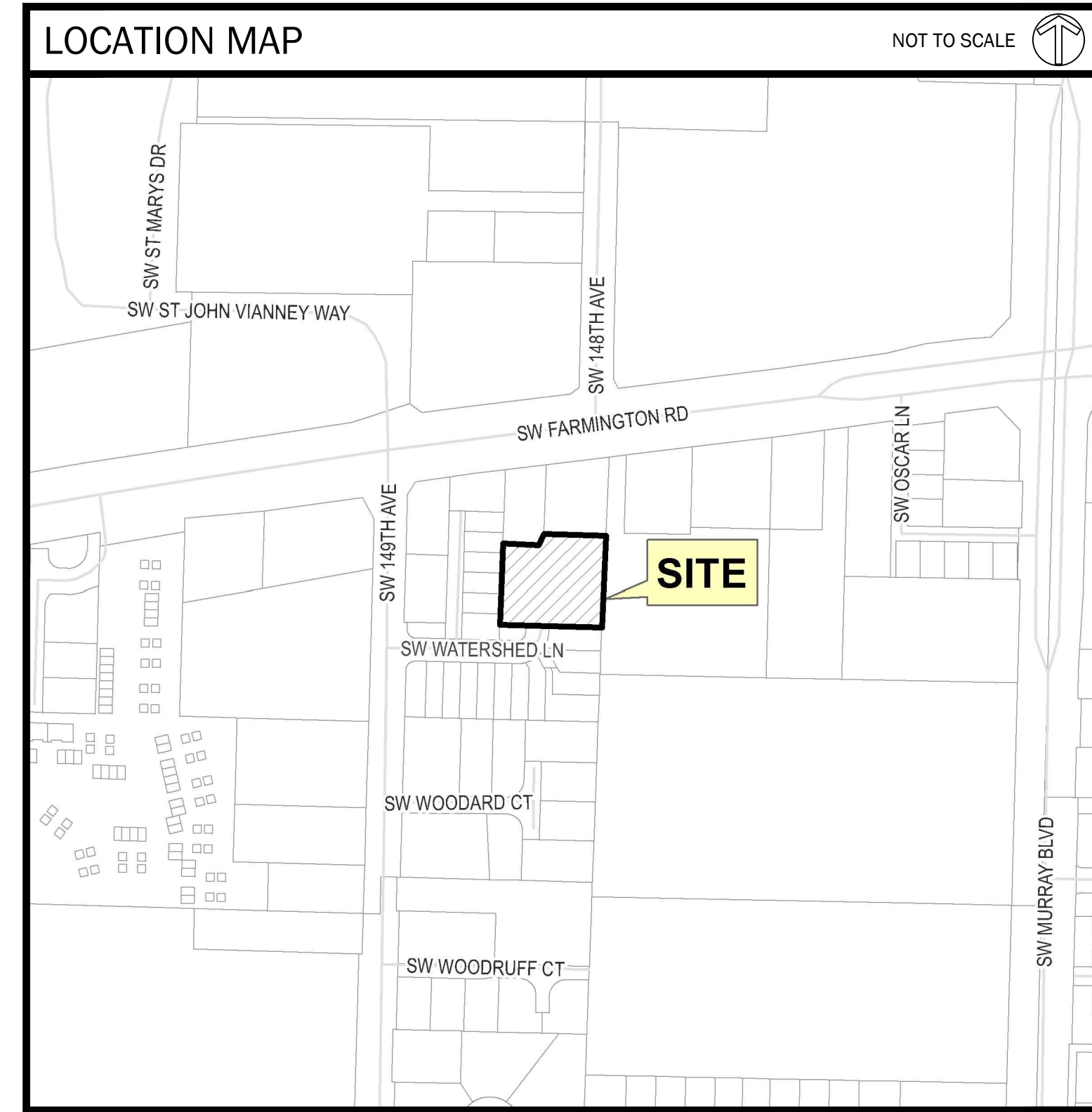


# 'WESTPORT VILLAGE' 7-LOT SUBDIVISION IN THE RMA ZONE

Received  
Planning Division  
7/19/2024



INDEX OF DRAWINGS		
1.	PCOV	COVER SHEET
2.	AERL	AERIAL PHOTOGRAPH
3.	EXCD	EXISTING CONDITIONS PLAN
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5.	PSIT	DIMENSIONED SITE PLAN
6.	PGR1	PRELIMINARY GRADING PLAN
6.1	PGR2	PRELIMINARY HAMMERHEAD & WALL GRADING DETAIL
7.	PURL	PRELIMINARY UTILITY PLAN
7.1	PST1	PRELIMINARY STORM AND SANITARY SEWER PROFILE.
8.	PLIP	LOT INFORMATION PLAN
9.	LSC1	PRELIMINARY LANDSCAPE PLAN
9.1	WTQ1	PRELIMINARY WATER QUALITY FACILITY PLANTING PLAN
9.2	TLFP	TYPICAL LOT FRONTAGE PLAN
9.3	PDET	CITY OF BEAVERTON STANDARD DETAILS
9.4	PDET	DETENTION & WATER QUALITY FACILITY DETAILS



## SITE INFORMATION

APPLICANTS REPRESENTATIVE:	NW ENGINEERS, LLC MATT NEWMAN 2920 SE BROOKWOOD AVENUE SUITE G HILLSBORO, OR 97123 PH: 503-601-4401	STORM SEWER:	CITY OF BEAVERTON
APPLICANT:	KIM-HIEN NGUYEN; WESTPORT VILLAGE, LLC 15 DUBERSTEIN DRIVE SAN RAMON, CA 94583 KIM-HIEN NGUYEN: 408-893-6906	SANITARY SEWER:	CITY OF BEAVERTON
REQUEST:	PRELIMINARY PLAT REVIEW FOR A 7-LOT SUBDIVISION, 'WESTPORT VILLAGE' WITH 7 SINGLE-FAMILY RESIDENTIAL HOMES IN THE RMA ZONE	WATER:	TUALATIN VALLEY WATER DISTRICT
SITE LEGAL DESCRIPTION:	TAX MAP 1S117AD TAX LOT 600 BEAVERTON, OREGON	FIRE DISTRICT:	TUALATIN VALLEY FIRE & RESCUE DISTRICT
SIZE:	0.49 ACRES PER SURVEY 0.50 ACRES PER TAX MAP	GARBAGE:	WASTE MANAGEMENT OF OREGON
LOCATION:	14830 SW FARMINGTON ROAD BEAVERTON, OR 97007	SCHOOL DISTRICT:	BEAVERTON
ZONE:	RMA	RELATED CASEFILES:	PLA2020-003 PLA2020-004 LEGAL LOT DETERMINATION

## PROJECT TEAM

### APPLICANT

KIM-HIEN NGUYEN;  
WESTPORT VILLAGE, LLC  
15 DUBERSTEIN DRIVE  
SAN RAMON, CA 94583  
KIM-HIEN NGUYEN: 408-893-6906

### ENGINEER



2920 SE BROOKWOOD AVENUE  
SUITE G  
HILLSBORO, OR 97123  
PH: 503-601-4401

### SURVEYOR

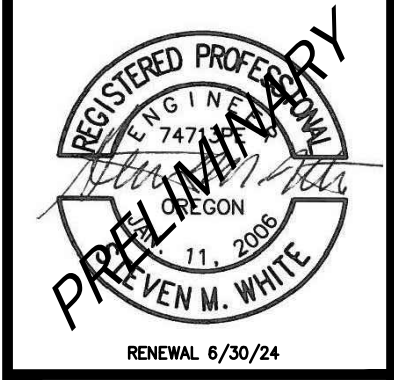
**NORTHWEST SURVEYING, INC.**  
1815 NW 169th PLACE, SUITE 2090  
BEAVERTON, OR 97006  
PH: (503) 848-2127 FAX: (503) 848-2179  
EMAIL: nwsurveying@nwsrvy.com

FOR: KIM-HIEN NGUYEN  
WESTPORT VILLAGE, LLC  
15 DUBERSTEIN DRIVE  
SAN RAMON, CA 94583  
SITE: TAX MAP 1S117AD  
TAX LOT 600  
CITY OF BEAVERTON, OREGON

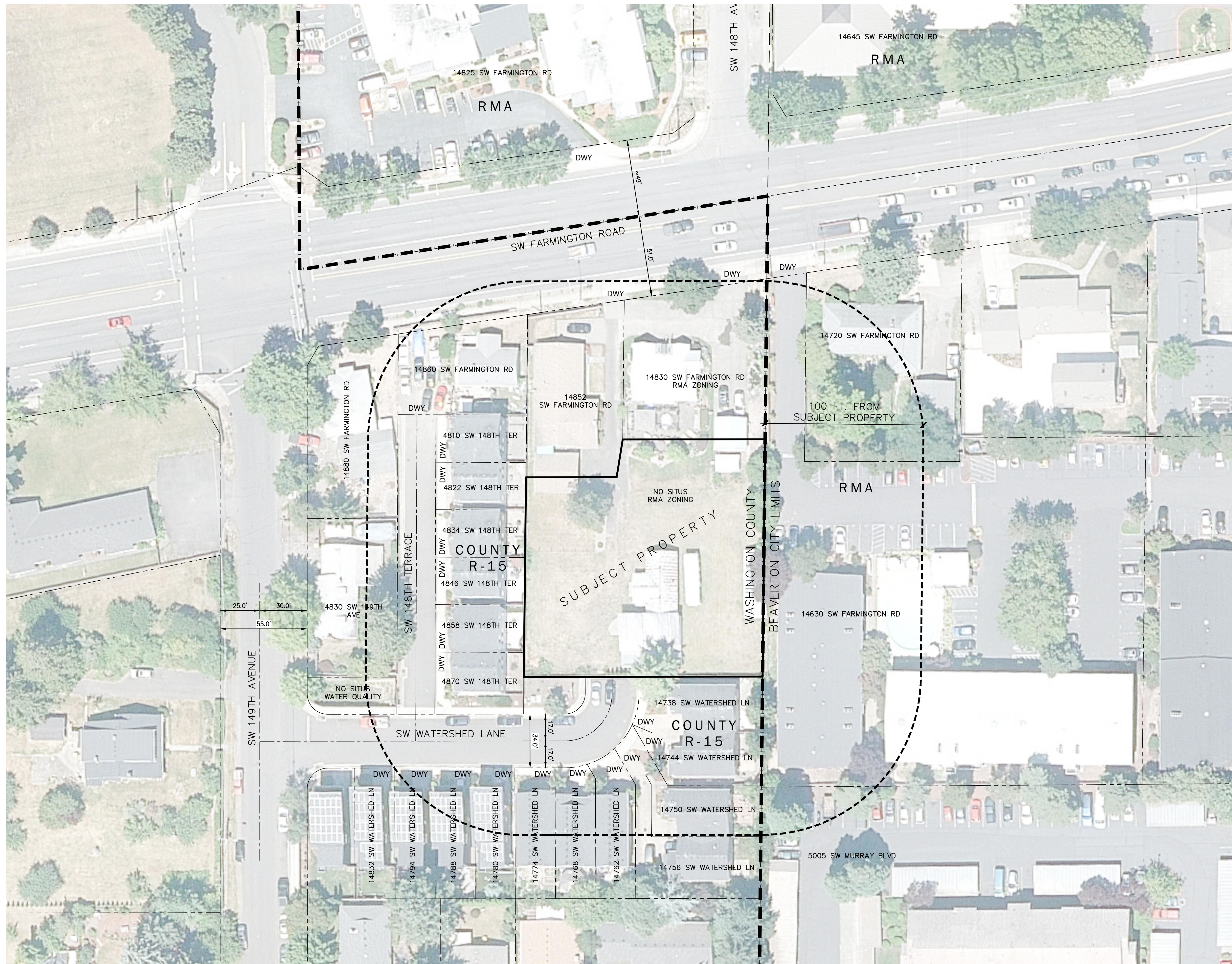
WESTPORT VILLAGE  
7-LOT SUBDIVISION  
N0696  
COVER SHEET

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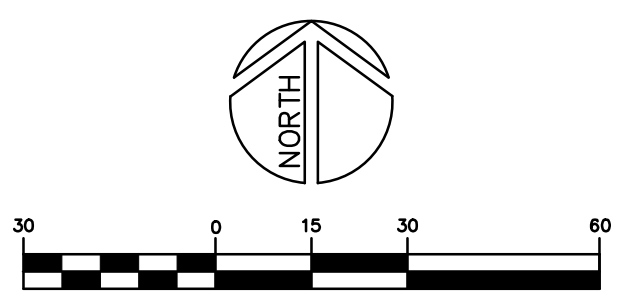


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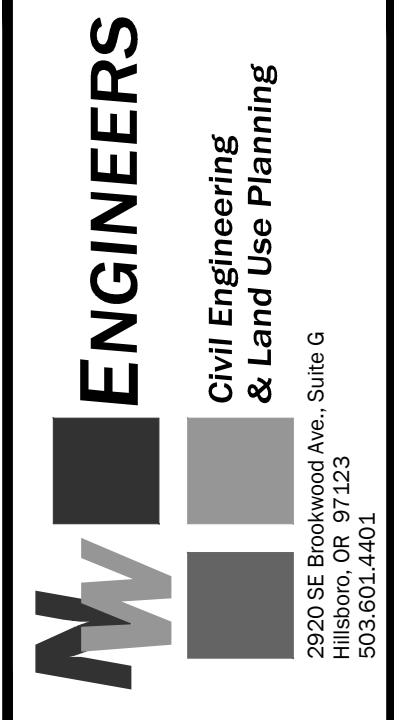
AERIAL PHOTO FROM METRO DATA RESOURCE CENTER. DATE: 2017.

DWY = EXISTING DRIVEWAY WITHIN 100 FEET OF PROPERTY



1 inch = 30 ft.  
11x17 SCALE: 1 inch = 60 ft.

CASEFILE: PA2024-00039

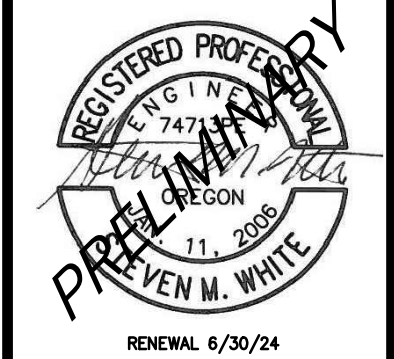


FOR: KIM-HIEN NGUYEN  
WESTPORT VILLAGE, LLC  
15 DUBERSTEIN DRIVE  
SAN RAMON, CA 94583  
SITE: TAX MAP 1S11.17AD  
TAX LOT 600  
CITY OF BEAVERTON, OREGON

WESTPORT VILLAGE  
7-LOT SUBDIVISION  
N0696  
AERIAL PHOTOGRAPH

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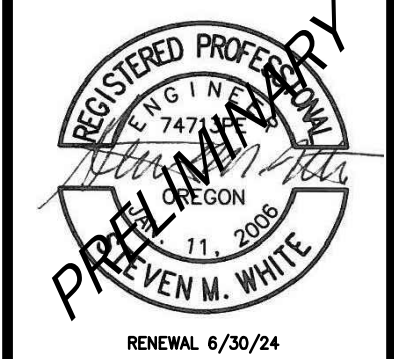
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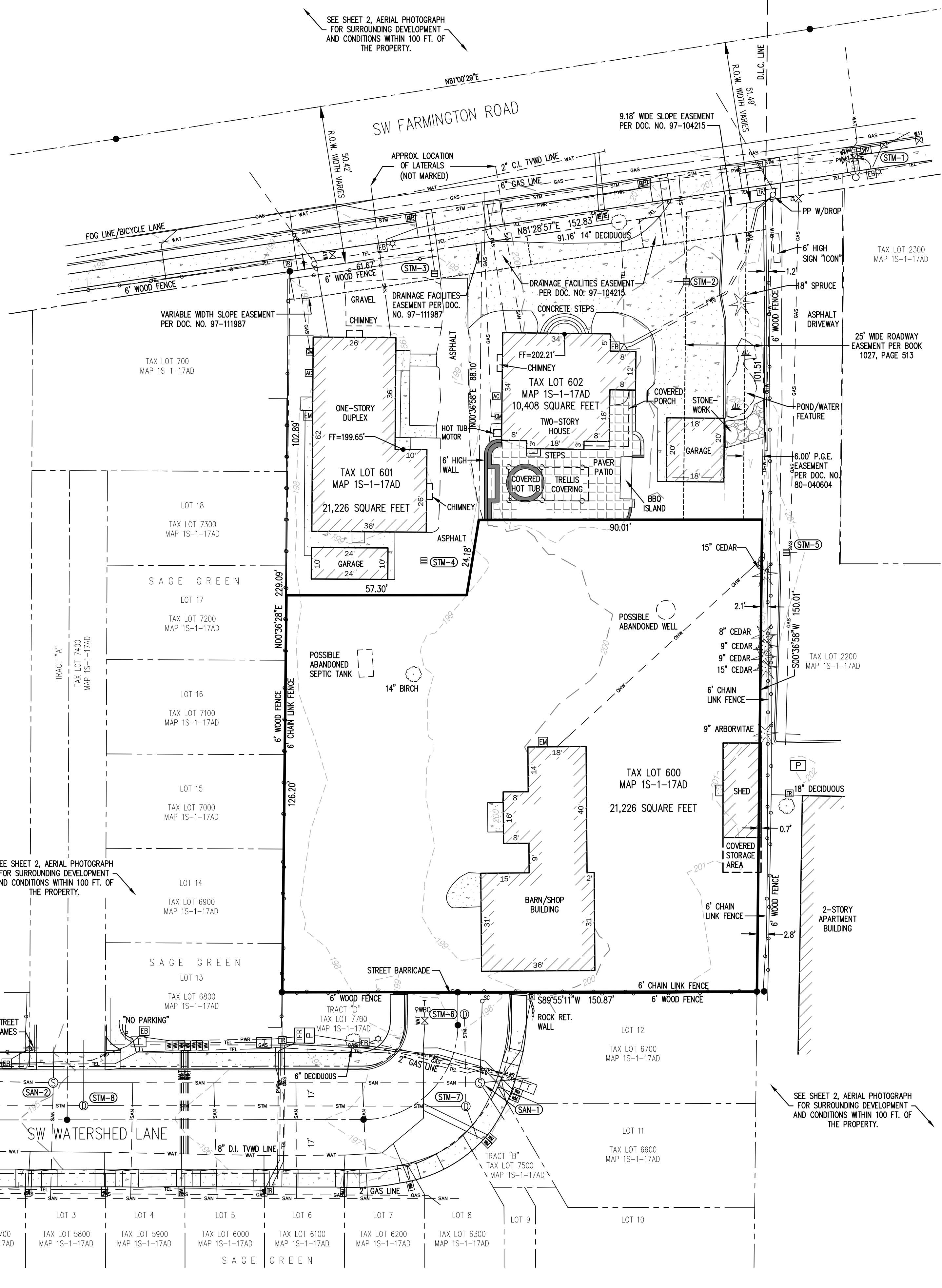


### LEGEND

DECIDUOUS TREE		GAS METER	
CONIFEROUS TREE		GAS VALVE	
FIRE HYDRANT		UTILITY POLE	
WATER BLOWOFF		POWER VAULT	
WATER METER		ELECTRICAL METER	
WATER VALVE		POWER JUNCTION BOX	
WATER VAULT		HVAC UNIT	
SANITARY SEWER CLEAN OUT		POWER TRANSFORMER	
SANITARY SEWER MANHOLE		STREET LIGHT	
STORM SEWER CATCH BASIN		TELEPHONE/TELEVISION VAULT	
STORM SEWER CURB INLET		TELEPHONE/TELEVISION JUNCTION BOX	
STORM SEWER MANHOLE		TELEPHONE/TELEVISION RISER	
MAILBOX		SIGN	
		FOUND SURVEY MONUMENT	

RIGHT-OF-WAY LINE	
PROPERTY LINE	
CENTERLINE	
CURB	
EDGE OF PAVEMENT	
EASEMENT	
FENCE LINE	
GRAVEL EDGE	
POWER LINE	
OVERHEAD WIRE	
TELEPHONE LINE	
TELEVISION LINE	
GAS LINE	
STORM SEWER LINE	
SANITARY SEWER LINE	
WATER LINE	



### NOTES

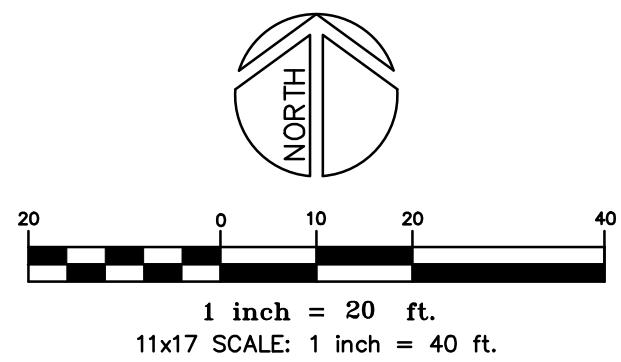
- 1) THE FIELD SURVEY FOR THIS MAP WAS COMPLETED ON MARCH 19, 2020.
- 2) ELEVATIONS AND CONTOURS ARE BASED ON WASHINGTON COUNTY BENCHMARK NUMBER 43. THE BENCHMARK IS A BRASS DISK SET IN THE WEST CURB LINE OF SW 152ND AVENUE, 50 FEET SOUTH OF THE CENTERLINE OF SW DIVISION STREET, 31 FEET SOUTH OF PGE POLE #215. IT HAS AN ELEVATION OF 206.20 FEET ON THE NGVD 1929 VERTICAL DATUM.
- 3) THE BASIS OF BEARINGS IS THE EAST LINE OF LOT 366, "JOHNSON ESTATE ADDITION TO BEAVERTON REEDVILLE ACREAGE" SUBDIVISION PER WASHINGTON COUNTY SURVEY NO. 30,461.
- 4) EASEMENTS SHOWN AS ENCUMBERING TAX LOTS 600 AND 602 ARE PER A OWNER'S POLICY OF TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY DATED JANUARY 8, 2020 WITH POLICY NO. 3335397. EASEMENTS SHOWN AS ENCUMBERING TAX LOT 601 IS PER A OWNER'S POLICY OF TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY DATED JANUARY 8, 2020 WITH POLICY NO. 3333909.
- 5) THE UNDERGROUND UTILITIES ALONG SW FARMINGTON ROAD WERE MARKED PER LOCATE TICKET NO. 20055963 AND 20067663. ALONG SW WATERSHED LANE THEY ARE PER TICKET NO. 20055986 AND 20067665.

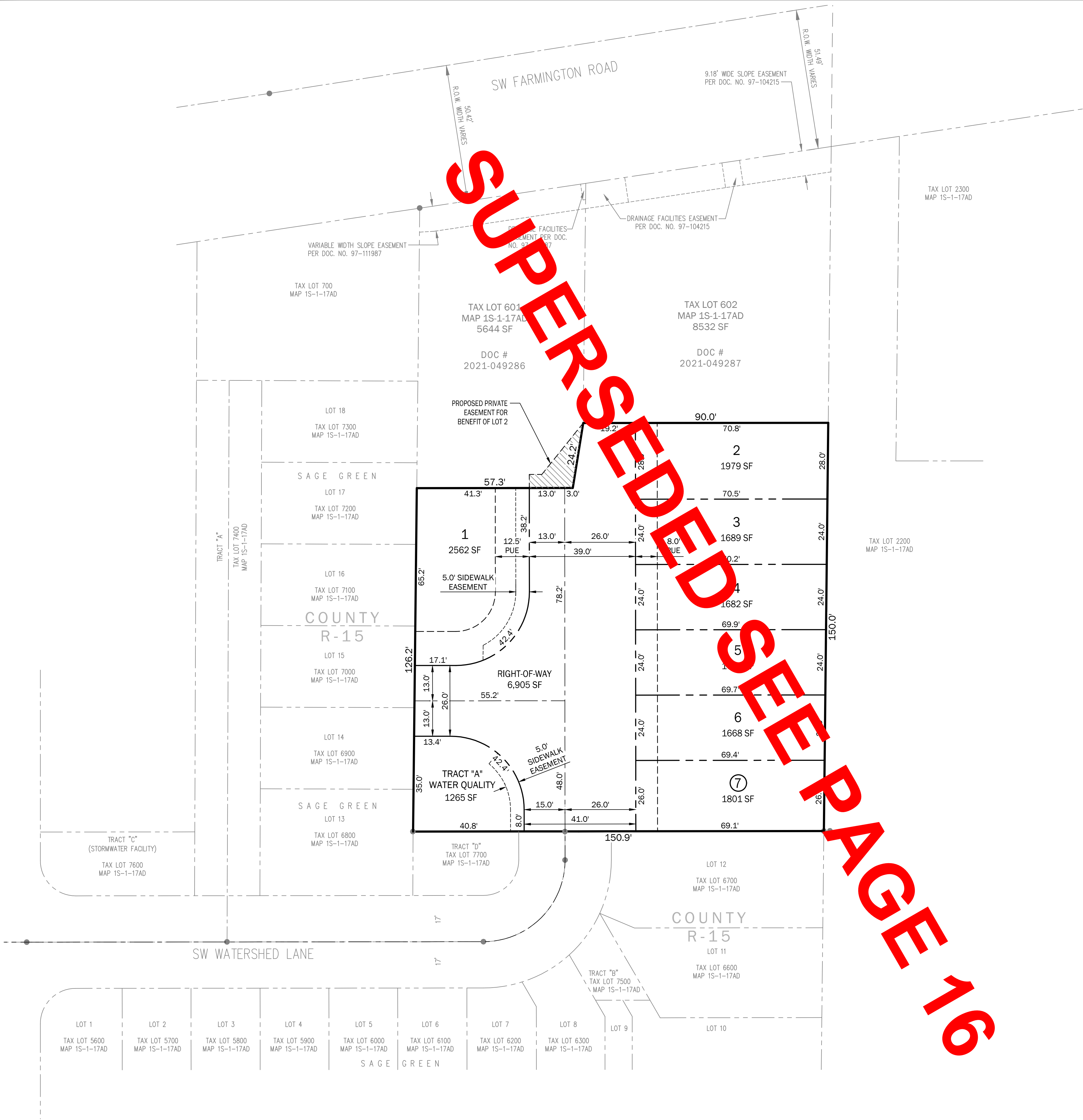
### UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

### STORM & SANITARY SEWER INFORMATION

SAN-1 MANHOLE RIM 197.48' 4" IN (E) 190.2' 6" IN (N) 190.2' 8" IN (SE) 190.1' 8" OUT (W) 190.0'	STM-1 CURB INLET RIM 202.36' INLET 201.68' 6" IN (SW) 198.3' 12" IN (E) 197.8' 18" OUT (W) 196.8'	STM-7 MANHOLE RIM 197.32' 12" IN (SE) 192.1' 12" IN (N) 192.1' 12" OUT (W) 192.0'
SAN-2 MANHOLE RIM 194.92' 4" IN (S) 187.9' 8" IN (N) 187.9' 8" IN (E) 187.9' 8" OUT (W) 187.8'	STM-2 CATCH BASIN RIM 199.34' 4" IN (W) 197.7' 4" IN (S) 197.7' 6" OUT (N) 197.2'	STM-8 MANHOLE RIM 195.29' 12" IN (E) 191.0' 12" IN (W) 191.0' 12" OUT (N) 190.9'
SAN-3 MANHOLE RIM 195.11' 8" IN (N) 185.1' 8" IN (E) 185.4' 8" OUT (S) 185.0'	STM-3 CATCH BASIN RIM 198.67' 10" OUT (N) 196.3'	STM-9 MANHOLE RIM 194.36' 10" IN (NW) 191.4' 10" OUT (SW) 191.4' 12" OUT (E) 191.3'
	STM-4 CATCH BASIN RIM 198.34' FULL OF SILT	STM-10 CATCH BASIN RIM 193.91' 10" OUT (SE) FILTER CARTRIDGE & STANDING WATER
	STM-5 CATCH BASIN RIM 200.66' TRAP (E)	STM-11 CATCH BASIN RIM 193.88' 10" OUT (NE) FILTER CARTRIDGE & STANDING WATER
	STM-6 MANHOLE RIM 198.12' 12" OUT (S) 192.5'	STM-12 MANHOLE RIM 194.67' 12" IN (NE) 189.6' 12" OUT (S) 189.5'





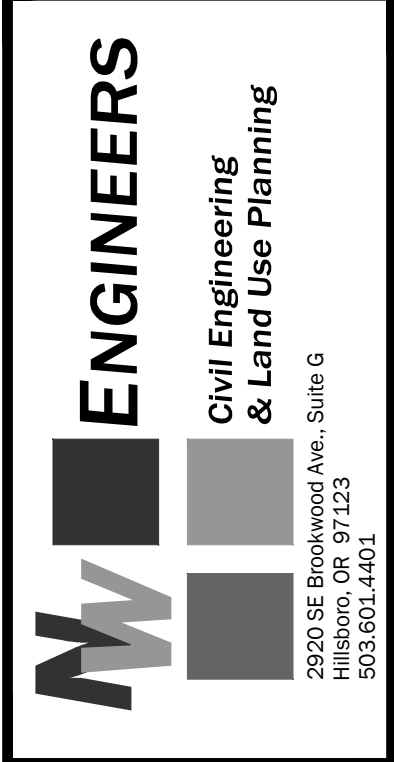
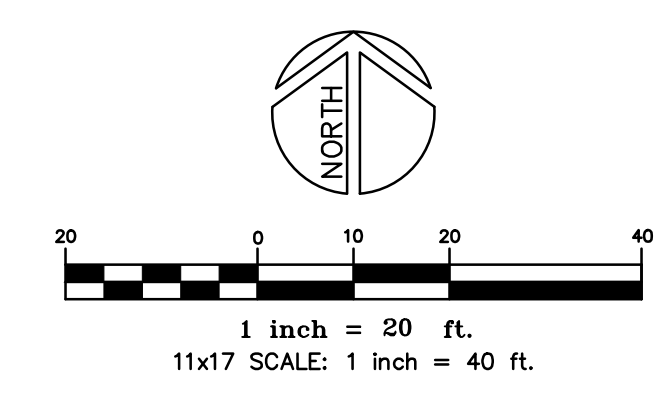
SUPERSEDED SEE PAGE 16

**SITE INFORMATION**

SITE ADDRESS: NO SITUS  
 JURISDICTION: CITY OF BEAVERTON  
 PARCEL ID: TAX LOT 600, MAP 1S-1-17AD  
 LAND USE DISTRICT: RMA  
 SITE SIZE: 21,226 SF  
 MIN. LOT SIZE: 1,500 SF  
 PROPOSED AVERAGE LOT SIZE: 1,865 SF

**NET DENSITY**

GROSS ACREAGE: 0.49 ACRE (21,226 SF)  
 R/W DEDICATION: 0.16 ACRE (6,905 SF)  
 NET ACREAGE: 14,321 SF  
 MIN. NUMBER OF REQUIRED DWELLING UNITS: 14,321 SF / 43,560 SF x 17 UNITS/ACRE = 5.59 or 6 UNITS

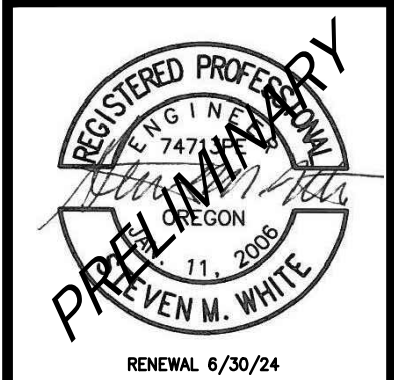


FOR: KIM-HIEN NGUYEN  
 WESTPORT VILLAGE, LLC  
 15 DUBERSTEIN DRIVE  
 SAN RAMON, CA 94583  
 SITE: TAX MAP 1S117AD  
 TAX LOT 600  
 CITY OF BEAVERTON, OREGON

WESTPORT VILLAGE  
 7-LOT SUBDIVISION  
 N0696  
 PRELIMINARY PLAT

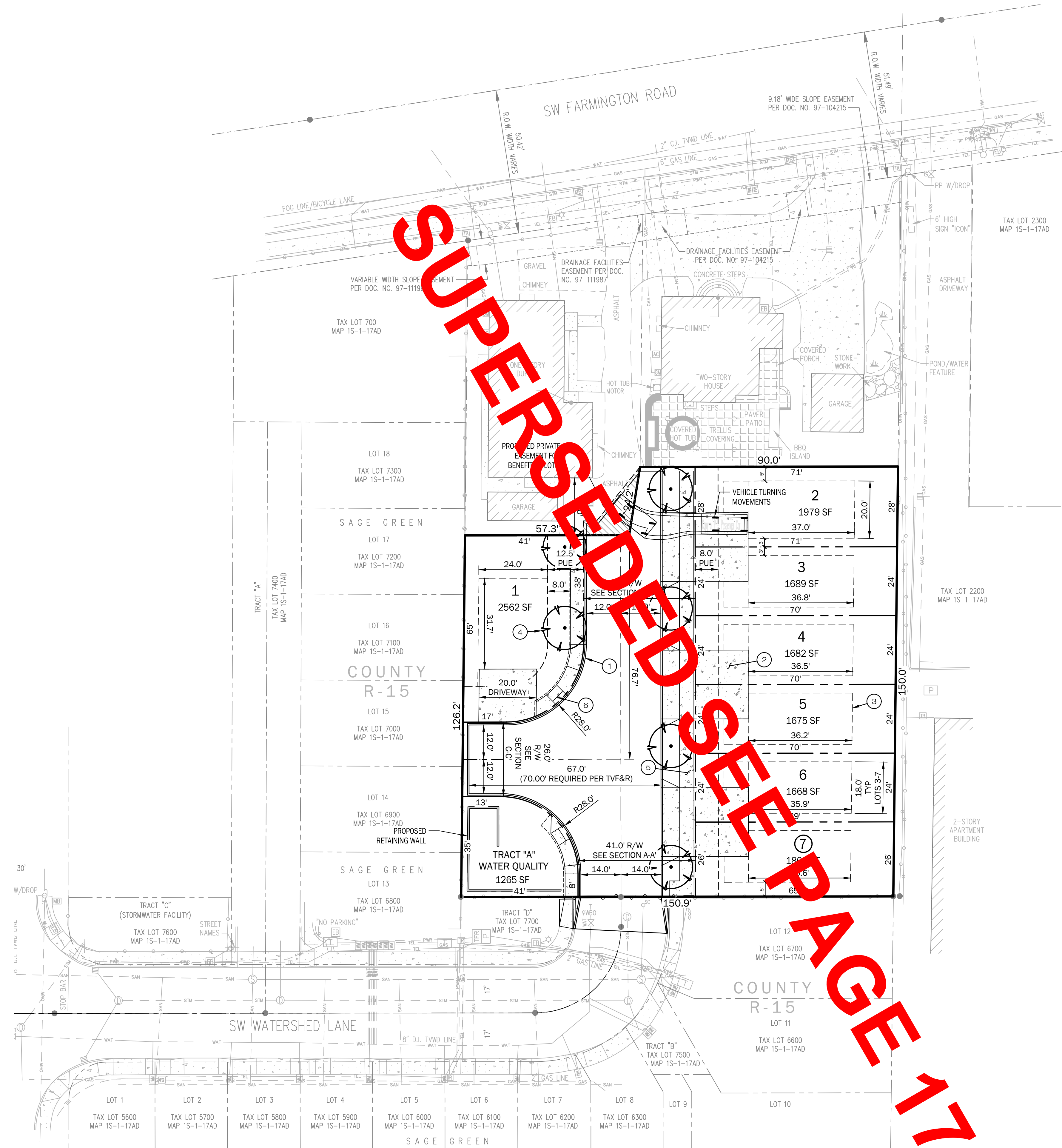
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ChrisB, Plotted: Jun 11, 2024 - 8:45am, P:\N0696\wg\Plan\Ph\N0696-04-PPLT.dwg

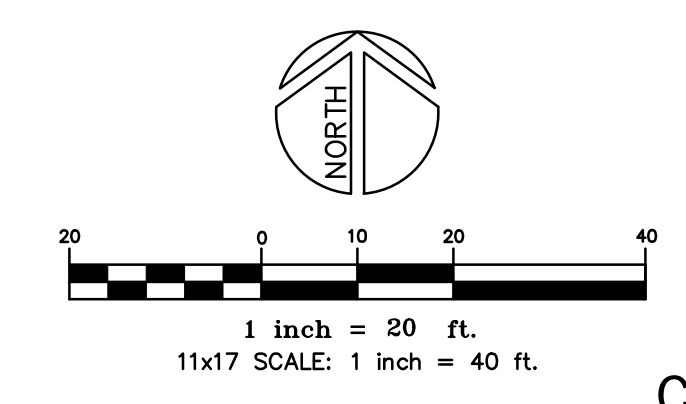
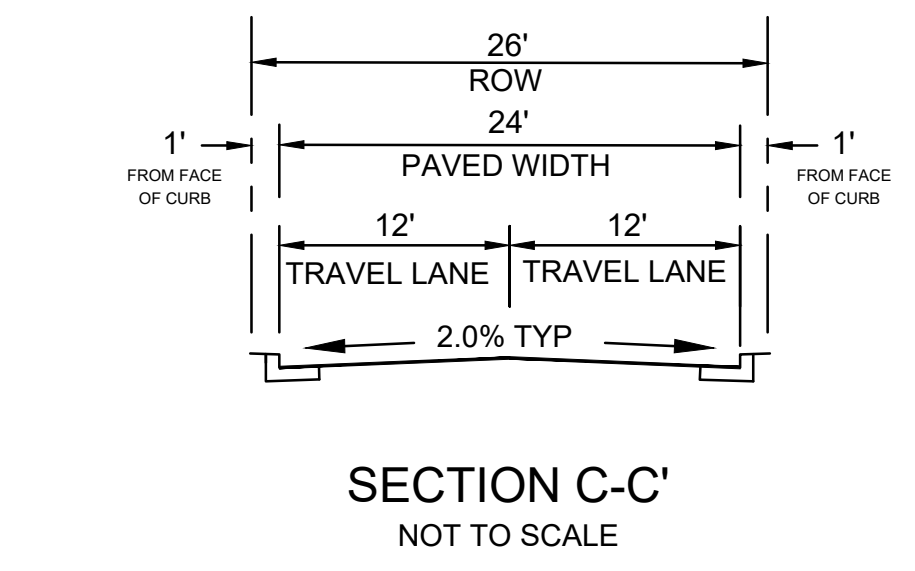
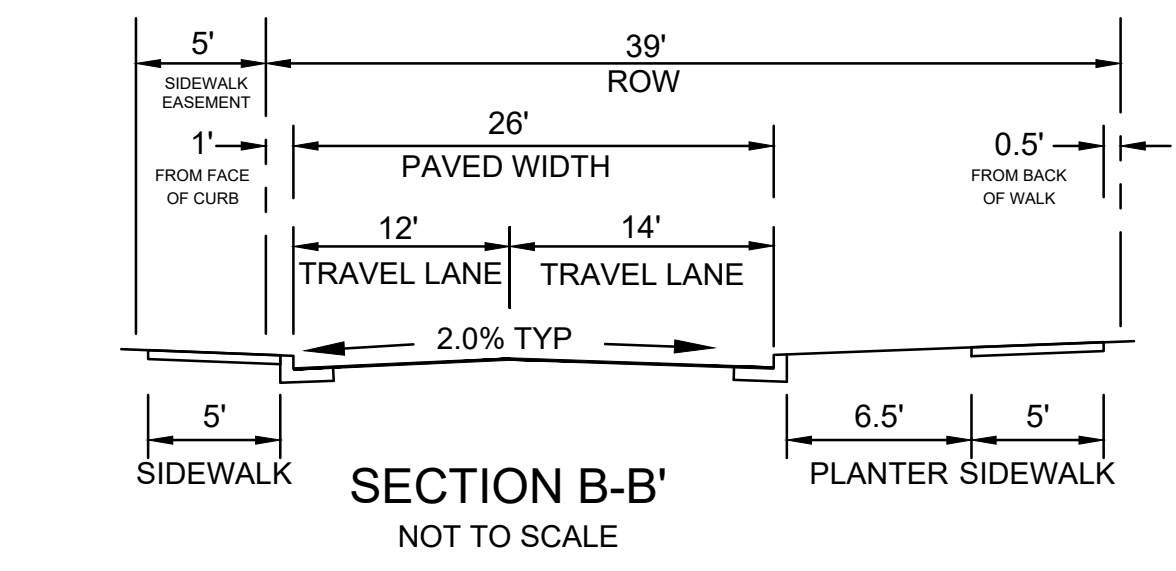
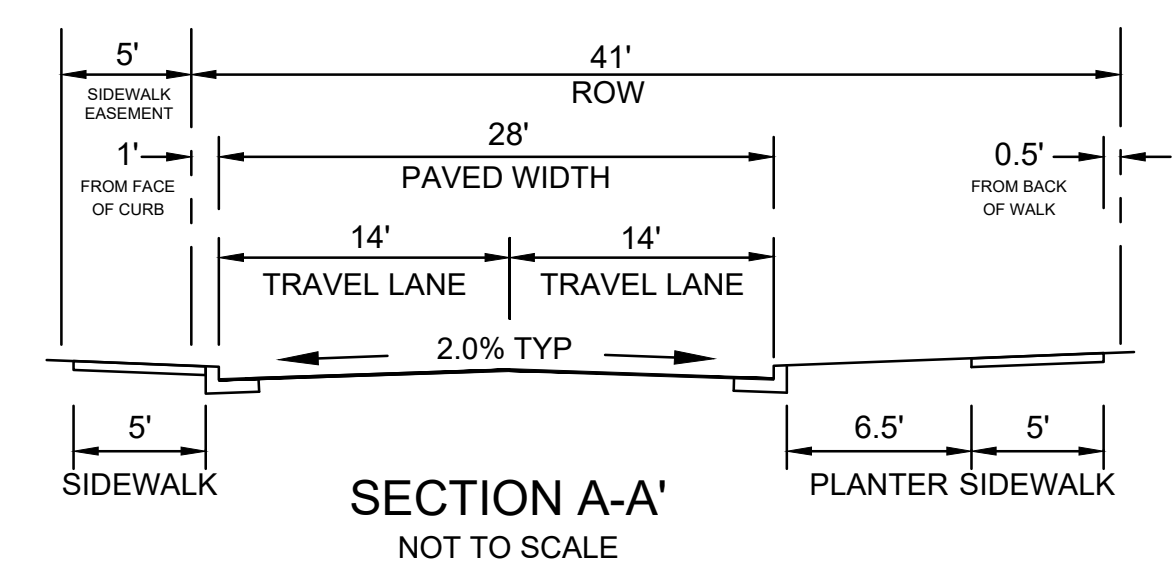


**MIN. SETBACK REQUIREMENTS: RMA**  
 FRONT: 10 FT  
 SIDE: 3 FT (OR 5 FT IF ABUTTING A LOWER DENSITY RESIDENTIAL ZONE)  
 REAR: 15 FT  
 GARAGE: 18.5 FT

**GENERAL NOTE:**  
 SEE SHEET 3, 'EXISTING CONDITIONS' FOR EXISTING FEATURES LEGEND.

**KEY NOTES**

- ① PROPOSED CURB
- ② PROPOSED 24-FT. WIDE x 18.5-FT. DEEP SHARED DRIVEWAY
- ③ BUILDING SETBACK
- ④ PROPOSED STREET TREE
- ⑤ PROPOSED 5-FT. SIDEWALK
- ⑥ PROPOSED A.D.A. RAMP



**ENGINEERS**  
 Civil Engineering & Land Use Planning  
 2930 SE Brookwood Ave., Suite G  
 Hillsboro, OR 97123  
 503.601.4401

FOR: KIM-HIEN NGUYEN  
 WESTPORT VILLAGE, LLC  
 15 DUBERSTEIN DRIVE  
 SAN RAMON, CA 94583  
 SITE: TAX MAP 1S1117AD  
 TAX LOT 600  
 CITY OF BEAVERTON, OREGON

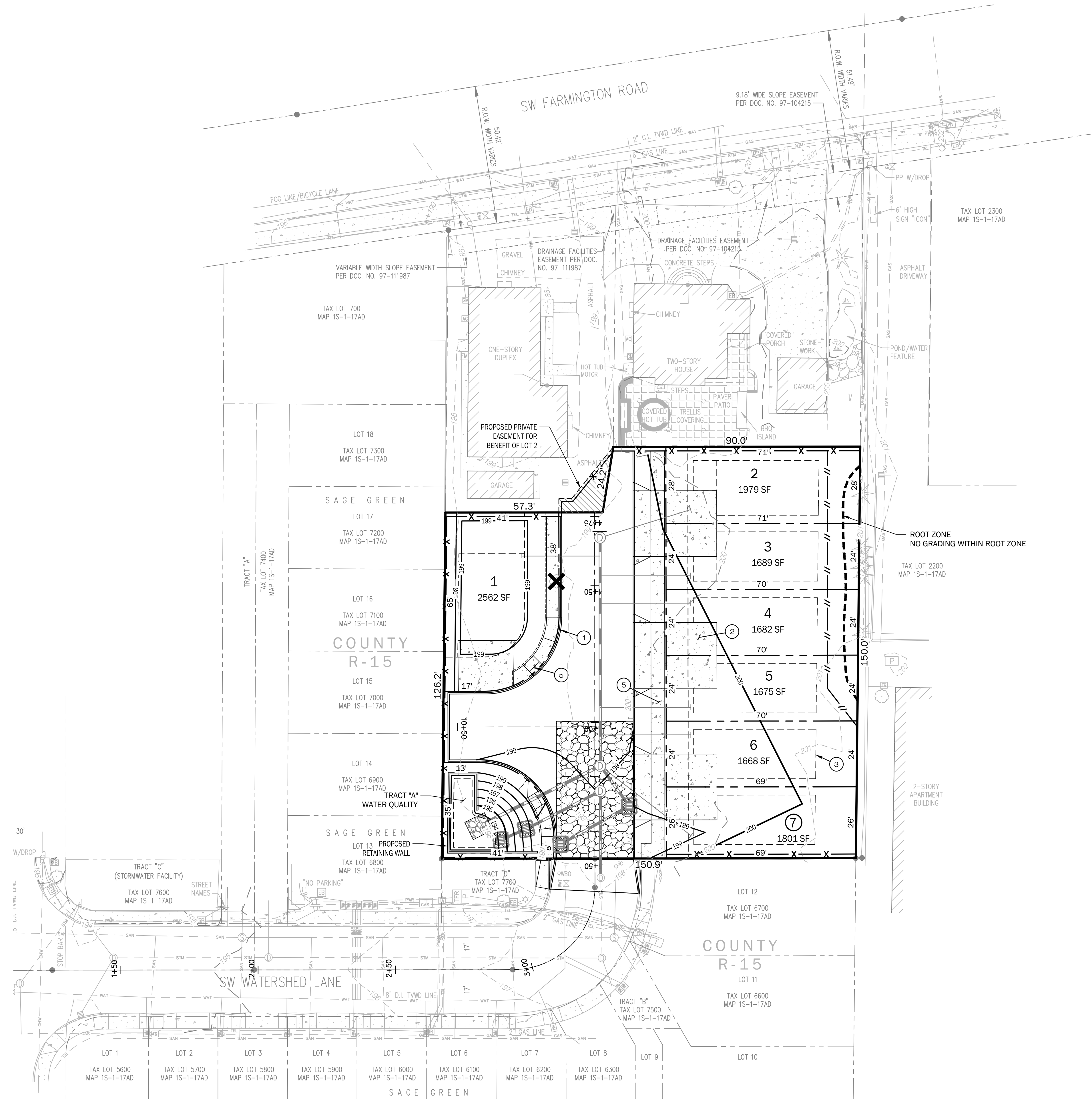
WESTPORT VILLAGE  
 7-LOT SUBDIVISION  
 N0696  
 DIMENSIONED SITE PLAN

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 DRAWN: [Signature]  
 REVIEWED: [Signature]  
 SUBMITTAL: [Signature]

REGISTERED PROFESSIONAL ENGINEER  
 CIVIL ENGINEERING  
 STATE OF OREGON  
 JUL 11, 2008  
 RENEWAL 6/30/24  
 PHILIP M. WHITE

PSIT 5 of 9

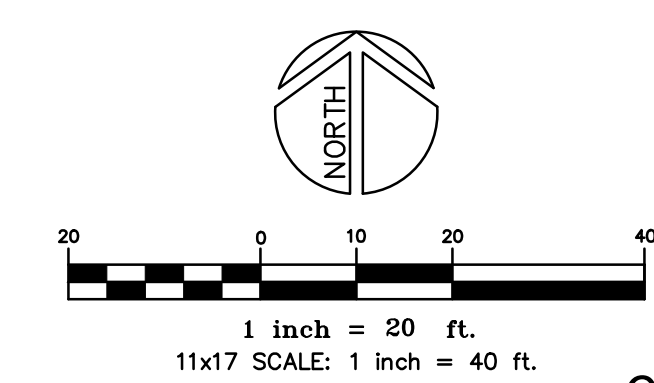


**LEGEND**

	EXISTING 5 FT. CONTOUR
	EXISTING 1 FT. CONTOUR
	PROPOSED 5 FT. CONTOUR
	PROPOSED 1 FT. CONTOUR
	SILT FENCE
	TREE PROTECTION FENCE. PLACE 5-FT. BEYOND DRIP LINE.
	CONSTRUCTION ENTRANCE
	EXISTING TREE TO BE REMOVED
	CATCH BASIN PROTECTION

- KEY NOTES**
- ① PROPOSED CURB
  - ② PROPOSED 24-FT. WIDE x 18.5-FT. DEEP SHARED DRIVEWAY
  - ③ BUILDING SETBACK
  - ④ PROPOSED 5-FT. SIDEWALK
  - ⑤ PROPOSED A.D.A. RAMP

- GENERAL NOTES:**
1. SEE SHEET 3, 'EXISTING CONDITIONS' FOR EXISTING FEATURES LEGEND.
  2. THERE ARE NO SIGNIFICANT TREES, GROVES, HISTORIC TREES, COMMUNITY TREES OR A SIGNIFICANT RESOURCE AREA ON-SITE.
  3. FINISHED FLOOR ELEVATIONS SHALL BE AT OR ABOVE 200.18'



**MW ENGINEERS**  
 Civil Engineering & Land Use Planning  
 2930 SE Brookwood Ave., Suite G  
 Hillsboro, OR 97123  
 503.601.4401

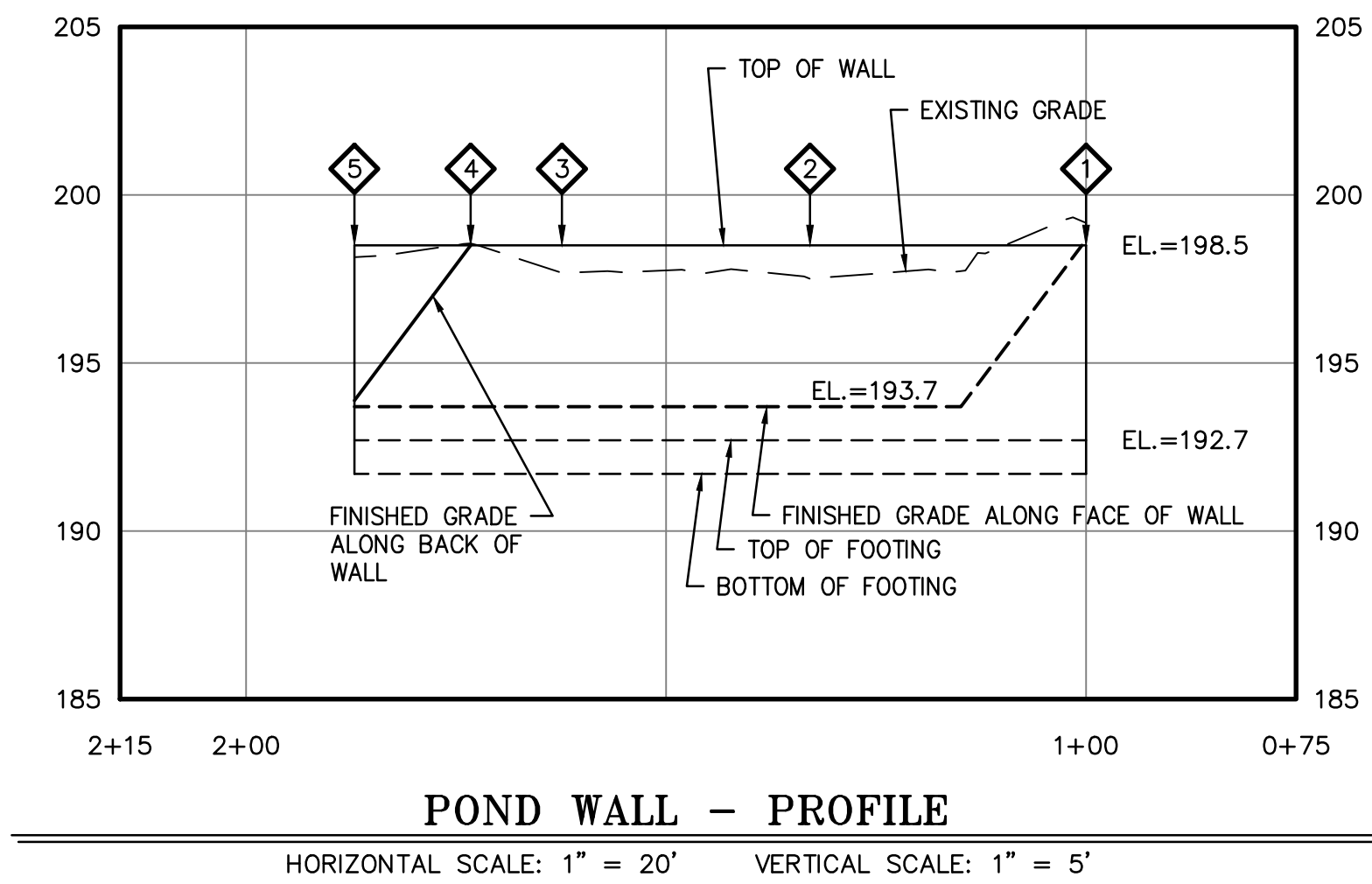
FOR: KIM-HIEN NGUYEN  
 WESTPORT VILLAGE, LLC  
 15 DUBERSTEIN DRIVE  
 SAN RAMON, CA 94583  
 SITE: TAX MAP 1S1117AD  
 TAX LOT 600  
 CITY OF BEAVERTON, OREGON

WESTPORT VILLAGE  
 7-LOT SUBDIVISION  
 N0696  
 PRELIMINARY GRADING PLAN

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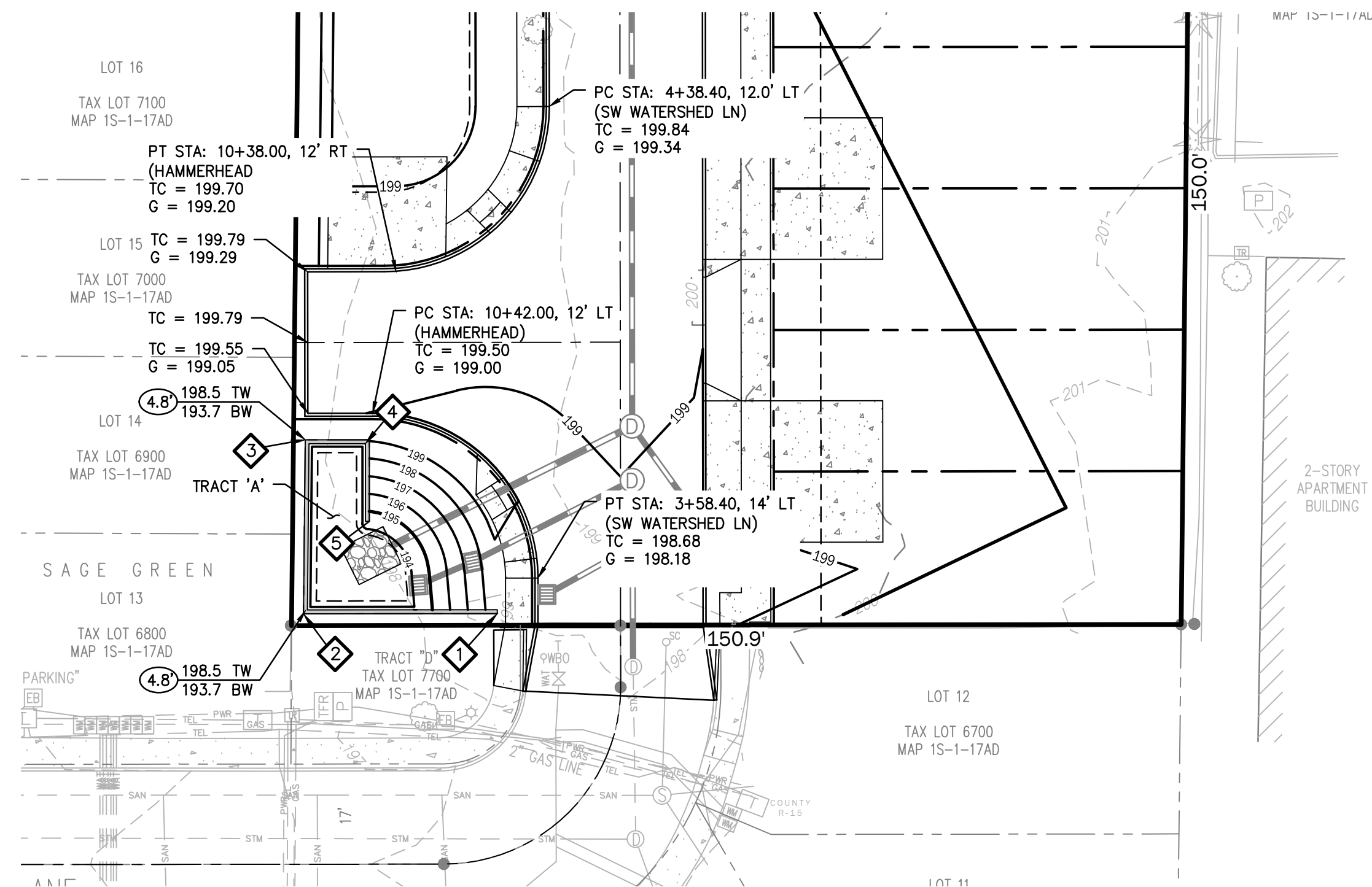
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REGISTERED PROFESSIONAL ENGINEER  
 STATE OF OREGON  
 JULY 11, 2008  
 PREVIOUS M. WHITE  
 RENEWAL 6/30/24

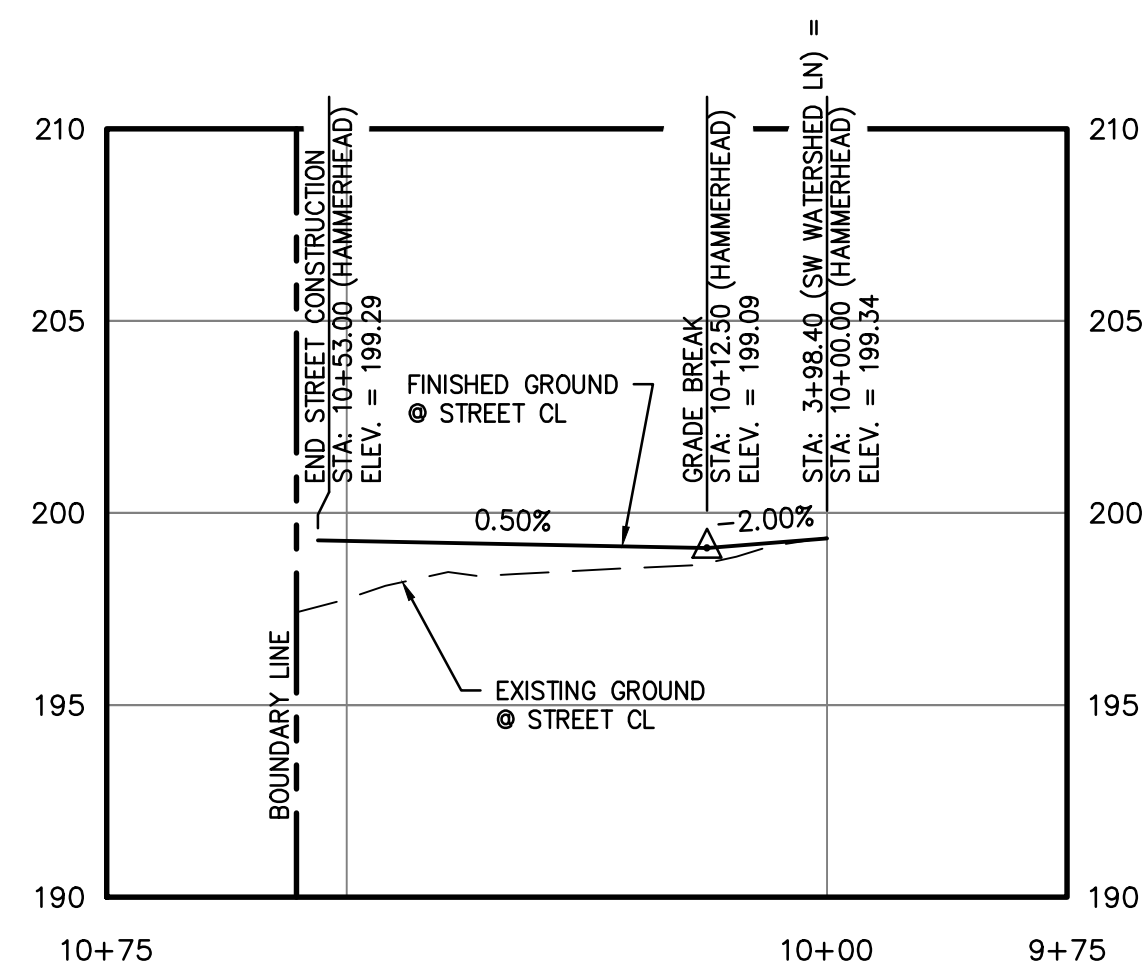


**POND WALL - PROFILE**

HORIZONTAL SCALE: 1" = 20' VERTICAL SCALE: 1" = 5'

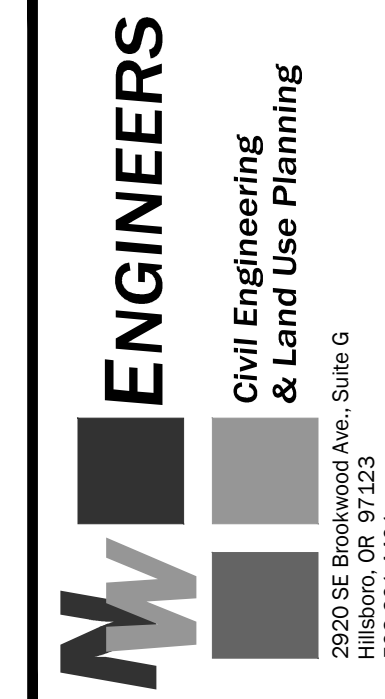
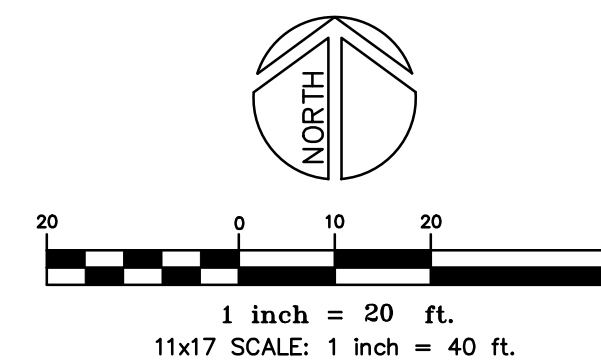


**HAMMERHEAD AND POND WALL - PLAN**



**HAMMERHEAD - PROFILE**

HORIZONTAL SCALE: 1" = 20' VERTICAL SCALE: 1" = 5'

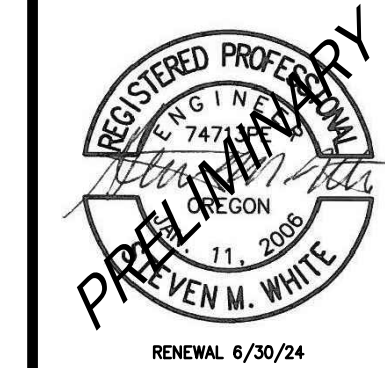


FOR: KIM-HIEN NGUYEN  
WESTPORT VILLAGE, LLC  
15 DUBERSTEIN DRIVE  
SAN RAMON, CA 94583  
SITE: TAX MAP 15.117AD  
TAX LOT 600  
CITY OF BEAVERTON, OREGON

WESTPORT VILLAGE  
7-LOT SUBDIVISION  
N0696  
PRELIMINARY HAMMERHEAD  
& WALL GRADING DETAIL

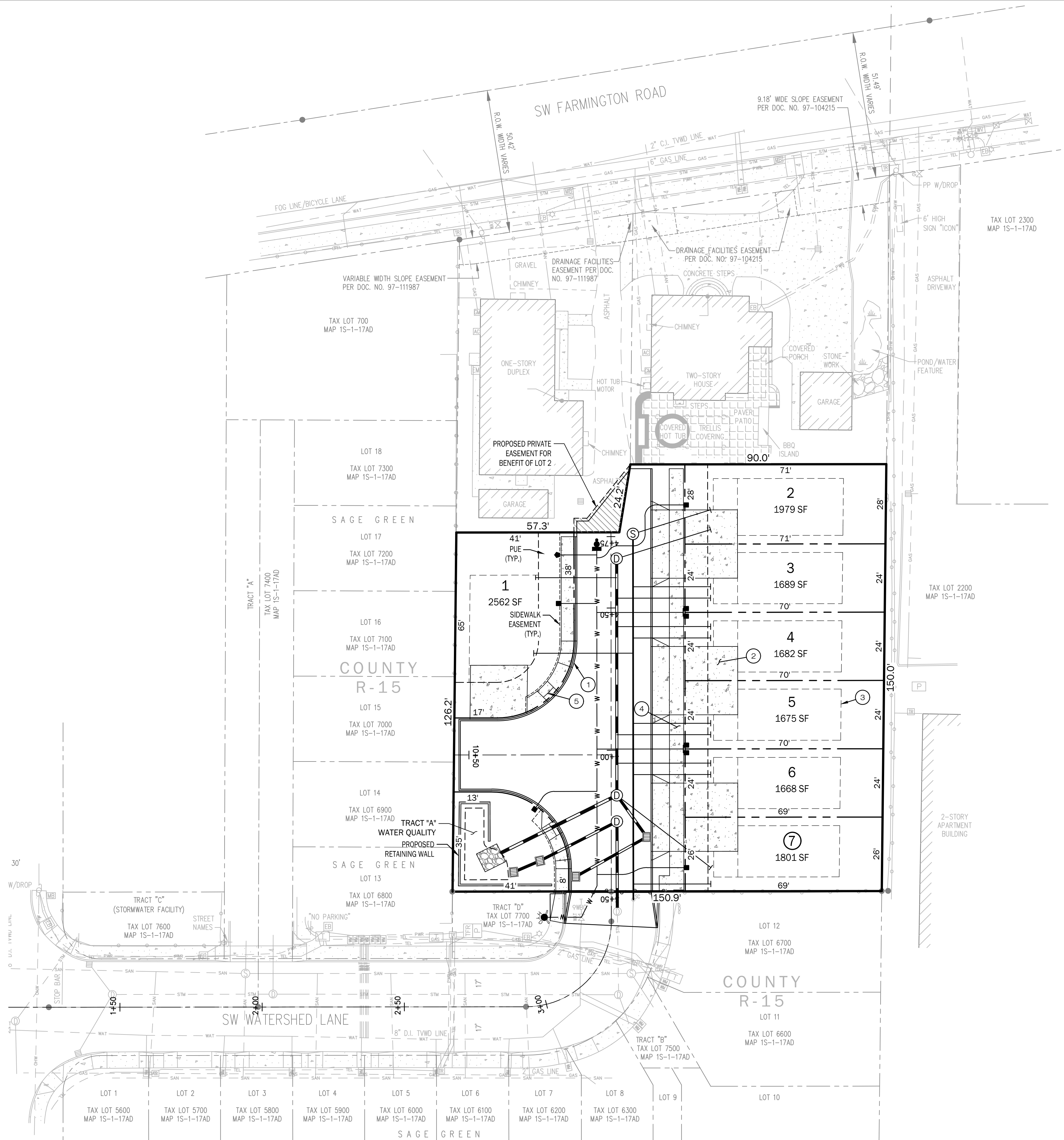
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CASEFILE: PA2024-00039



**PROPOSED UTILITY LEGEND**

- W — WATER LINE
- W — WATER METER
- B — BLOW-OFF
- F — FIRE HYDRANT
- S — SANITARY SEWER LINE
- S — SANITARY SEWER MANHOLE
- L — SANITARY SEWER LATERAL
- S — STORM SEWER LINE
- D — STORM SEWER MANHOLE
- L — STORM SEWER LATERAL
- C — STORM SEWER CATCH BASIN

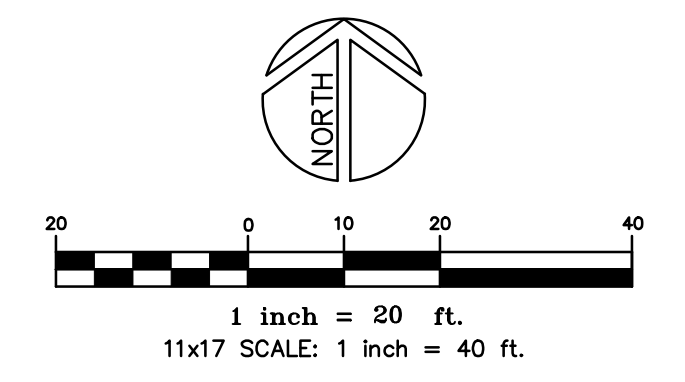
**KEY NOTES**

- 1 PROPOSED CURB
- 2 PROPOSED 24-FT. WIDE x 18.5-FT. DEEP SHARED DRIVEWAY
- 3 BUILDING SETBACK
- 4 PROPOSED 5-FT. SIDEWALK
- 5 PROPOSED A.D.A. RAMP

**GENERAL NOTES:**

1. SEE SHEET 3, 'EXISTING CONDITIONS' FOR EXISTING FEATURES LEGEND.
2. ANY OVERHEAD LINES SHALL BE PLACED UNDERGROUND.
3. CITY OF BEAVERTON SHALL OWN AND MAINTAIN PUBLIC ROAD AND STORMWATER MANAGEMENT FACILITY.

NOTE:  
FLOW CONTROL STRUCTURES WITH ORIFICES LESS THAN 2.5 IN DIAMETER SHALL HAVE MAINTENANCE ACCESSIBLE DURABLE STEEL SCREENING (316 SS) THAT WILL PREVENT OBJECTS GREATER THAN 10 MM (0.4 IN) IN DIAMETER FROM REACHING THE ORIFICE.



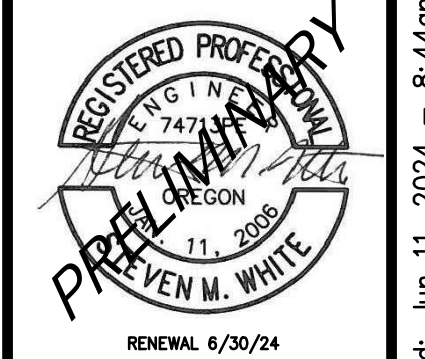
**ENGINEERS**  
Civil Engineering & Land Use Planning  
2930 SE Brookwood Ave., Suite G  
Hillsboro, OR 97123  
503.601.4401

FOR: KIM-HIEN NGUYEN  
WESTPORT VILLAGE, LLC  
15 DUBERSTEIN DRIVE  
SAN RAMON, CA 94583  
SITE: TAX MAP 1S1117AD  
TAX LOT 600  
CITY OF BEAVERTON, OREGON

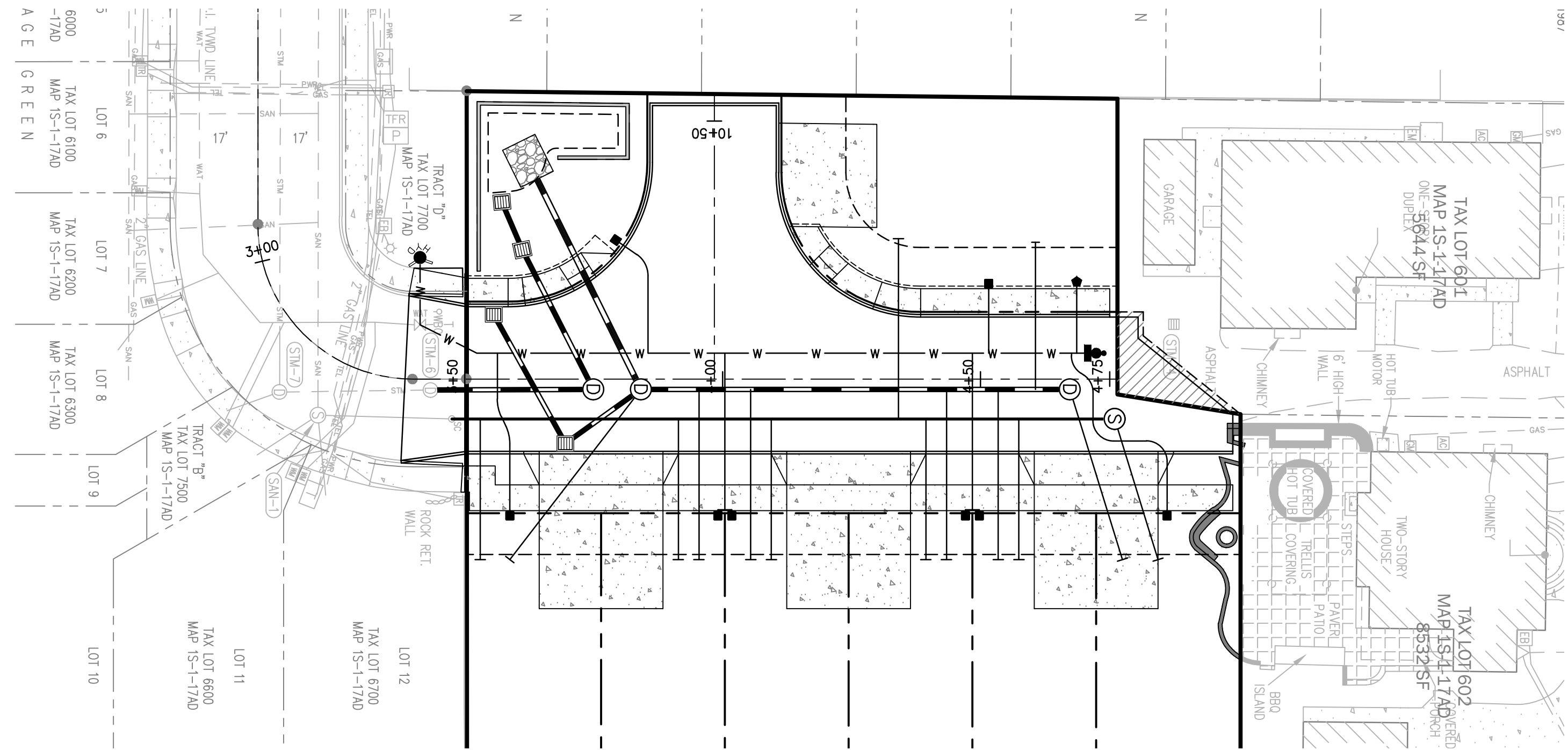
WESTPORT VILLAGE  
7-LOT SUBDIVISION  
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PRELIMINARY UTILITY PLAN

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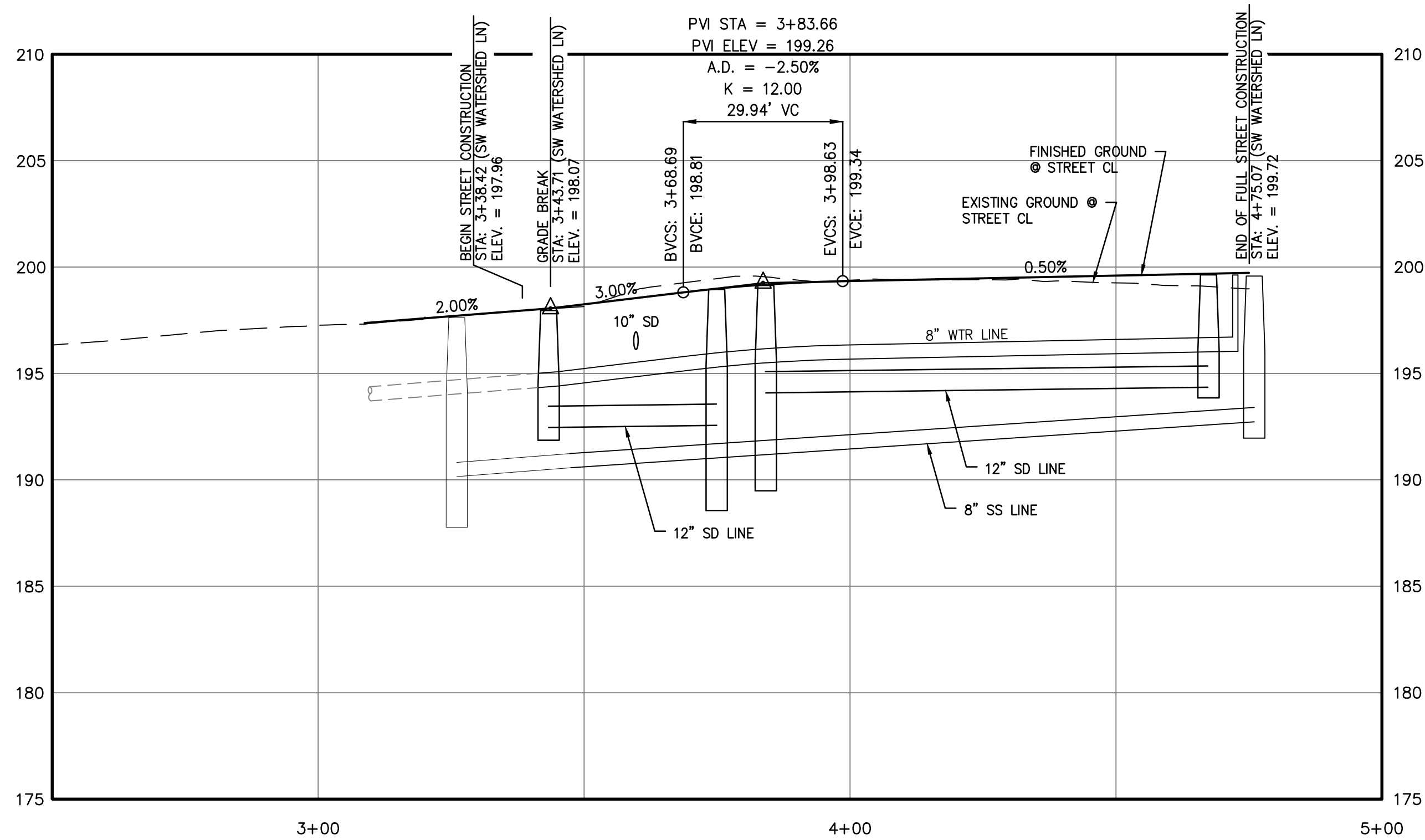
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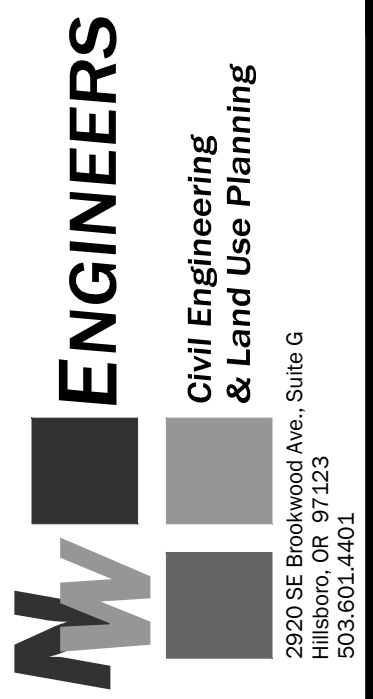
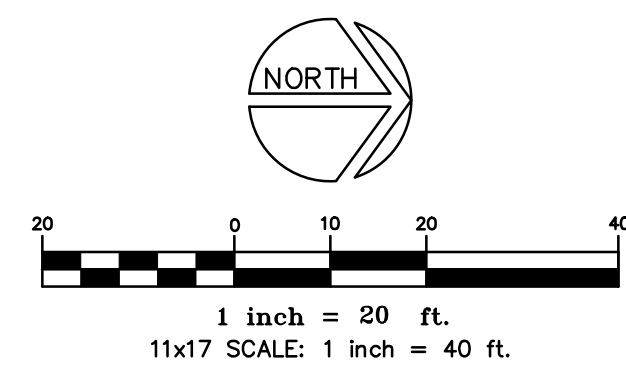


SW WATERSHED LN. AND UTILITIES - PLAN



SW WATERSHED LN AND UTILITIES - PROFILE

HORIZONTAL SCALE: 1" = 20' VERTICAL SCALE: 1" = 5'

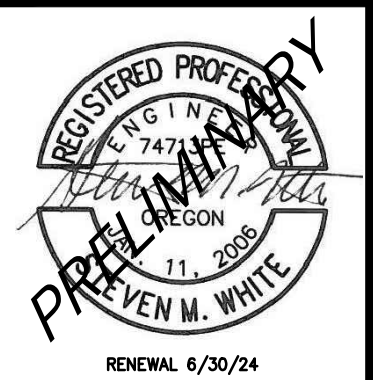


FOR: KIM-HIEN NGUYEN  
WESTPORT VILLAGE, LLC  
15 DUBERSTEIN DRIVE  
SAN RAMON, CA 94583  
SITE: TAX MAP 1S1117AD  
TAX LOT 600  
CITY OF BEAVERTON, OREGON

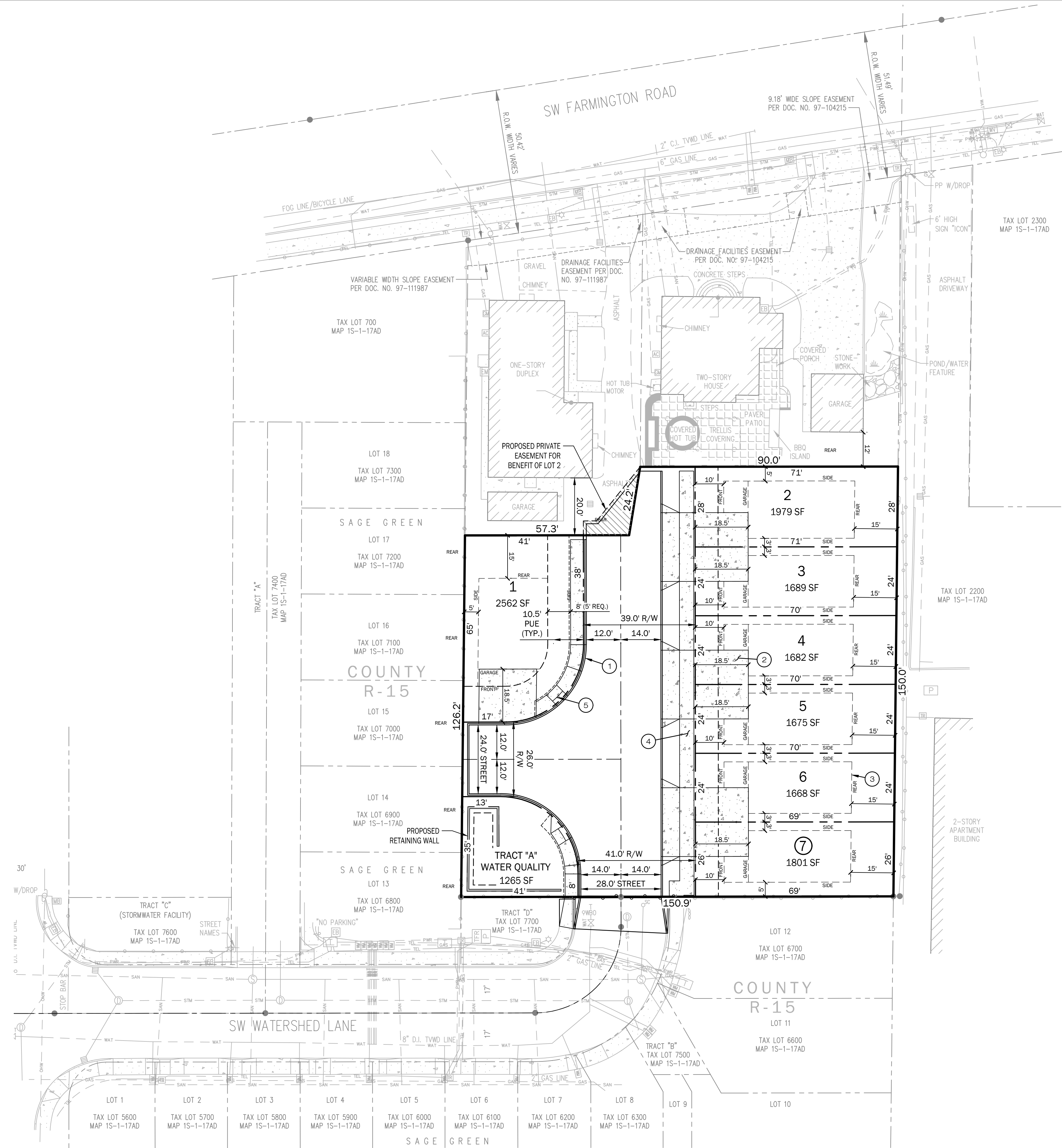
WESTPORT VILLAGE  
7-LOT SUBDIVISION  
N0696  
WATERSHED LN & UTILITIES  
PLAN & PROFILE

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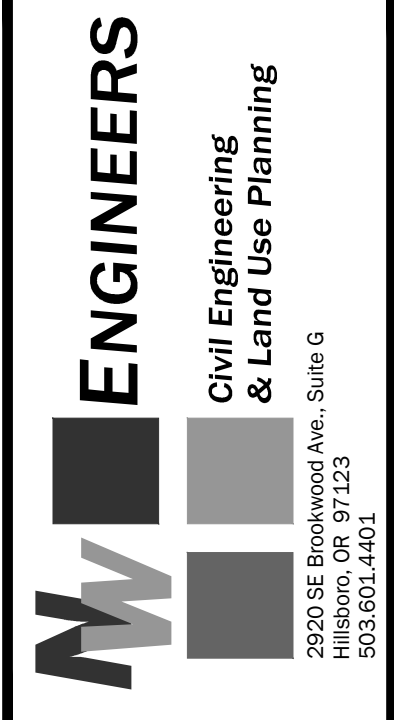
PROF 7.1 of 9



**MIN. SETBACK REQUIREMENTS: R-2**  
 FRONT: 10 FT  
 SIDE: 5 FT (OR 10FT IF ABUTTING A LOWER DENSITY RESIDENTIAL ZONE)  
 REAR: 15 FT  
 GARAGE: 18.5 FT  
 NOTE: SETBACKS MEASURED FROM PROPERTY LINE

**GENERAL NOTE:**  
 SEE SHEET 3, 'EXISTING CONDITIONS' FOR EXISTING FEATURES LEGEND.

- KEY NOTES**
- ① PROPOSED CURB
  - ② PROPOSED 24-FT. WIDE x 18.5-FT. DEEP SHARED DRIVEWAY
  - ③ BUILDING SETBACK
  - ④ PROPOSED 5-FT. SIDEWALK
  - ⑤ PROPOSED A.D.A. RAMP

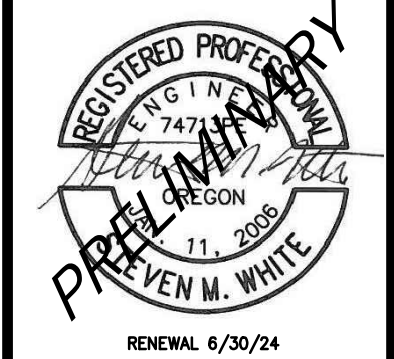


FOR: KIM-HIEN NGUYEN  
 WESTPORT VILLAGE, LLC  
 15 DUBERSTEIN DRIVE  
 SAN RAMON, CA 94583  
 SITE: TAX MAP 1S1117AD  
 TAX LOT 600  
 CITY OF BEAVERTON, OREGON

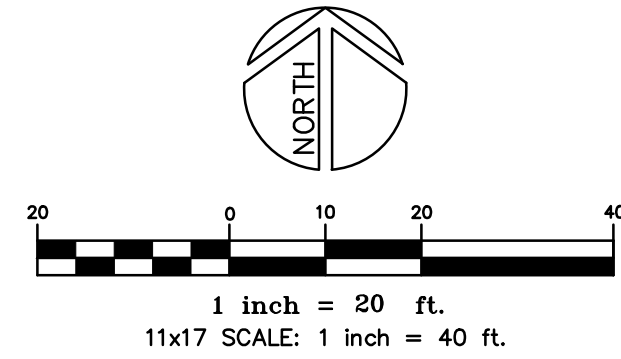
WESTPORT VILLAGE  
 7-LOT SUBDIVISION  
 N0696  
 LOT INFORMATION PLAN

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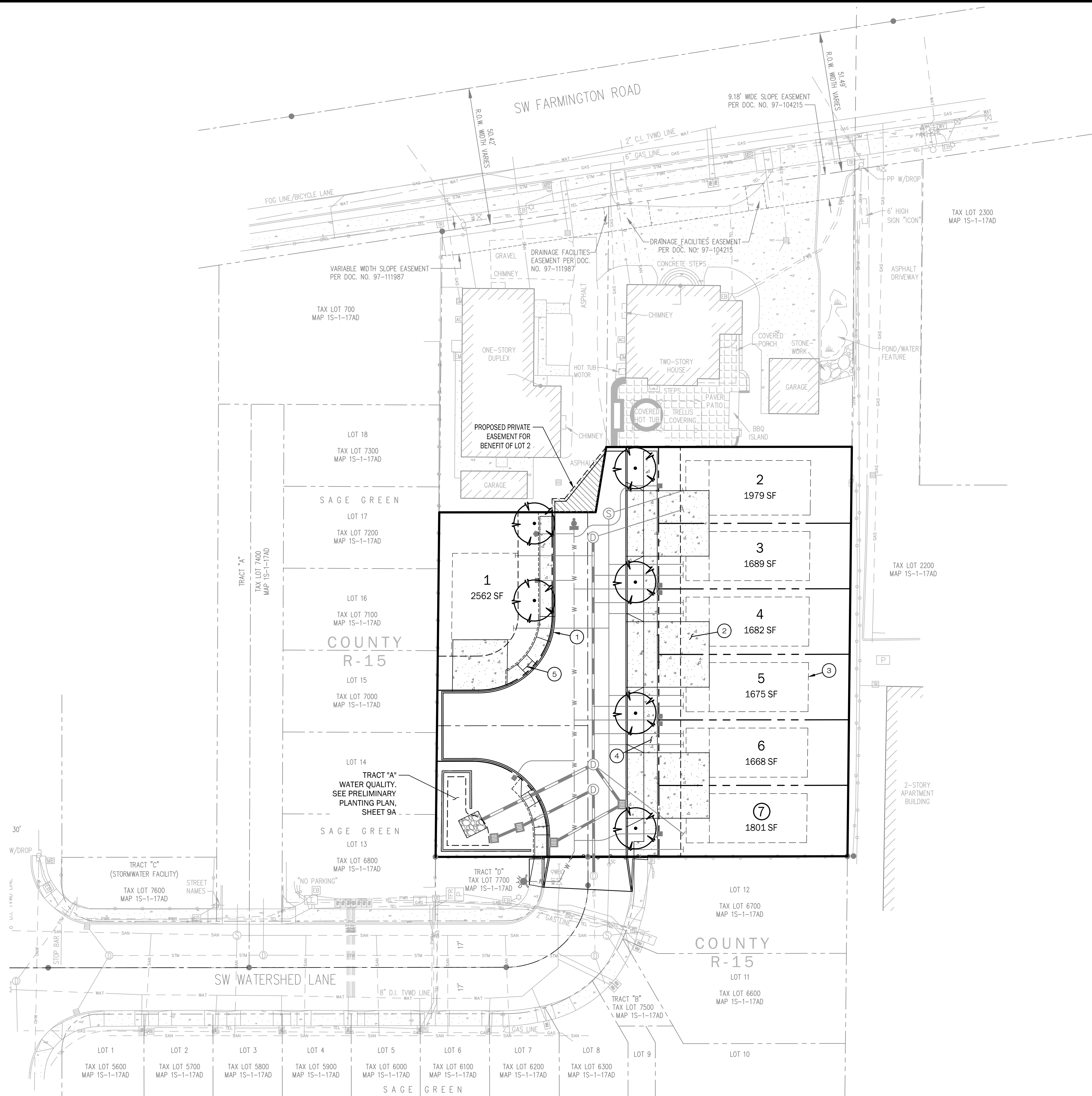
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PLIP 8 of 9



CASEFILE: PA2024-00039



**STREET TREE LEGEND**

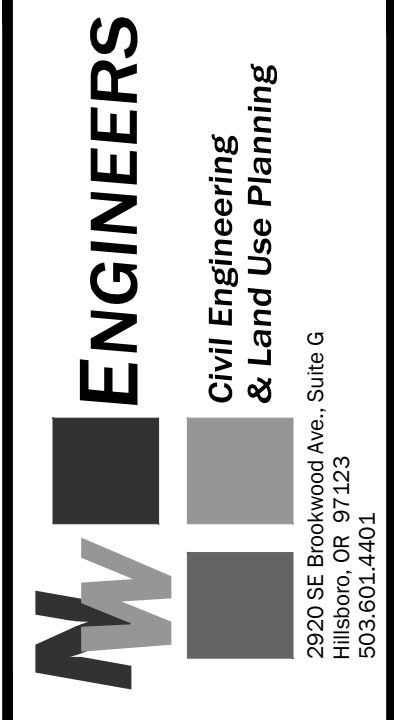
SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE
	CAPITAL FLOWERING PEAR	<i>Pyrus calleryana</i> 'Capital'	1.5 caliper. min., 8-10 ft. ht.

**KEY NOTES**

- ① PROPOSED CURB
- ② PROPOSED 24-FT. WIDE x 18.5-FT. DEEP SHARED DRIVEWAY
- ③ BUILDING SETBACK
- ④ PROPOSED 5-FT. SIDEWALK
- ⑤ PROPOSED A.D.A. RAMP

**GENERAL NOTE:**

SEE SHEET 3, 'EXISTING CONDITIONS' FOR EXISTING FEATURES LEGEND.

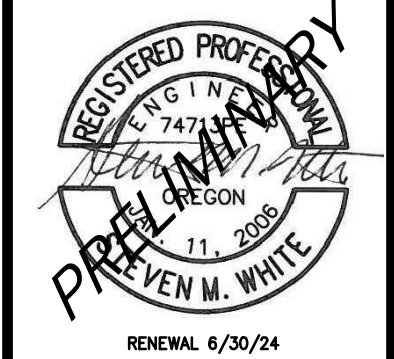


FOR: KIM-HIEN NGUYEN  
 WESTPORT VILLAGE, LLC  
 15 DUBERSTEIN DRIVE  
 SAN RAMON, CA 94583  
 SITE: TAX MAP 1S1117AD  
 TAX LOT 600  
 CITY OF BEAVERTON, OREGON

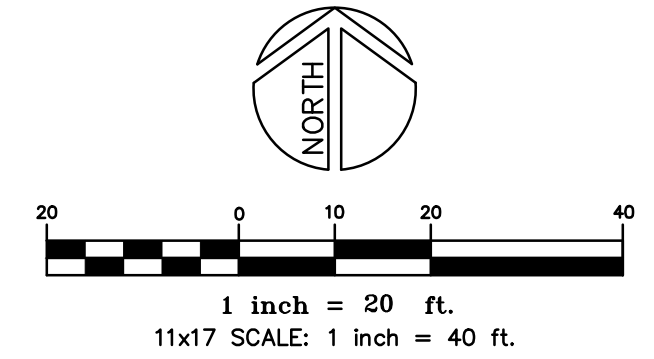
WESTPORT VILLAGE  
 7-LOT SUBDIVISION  
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 PRELIMINARY  
 LANDSCAPE PLAN

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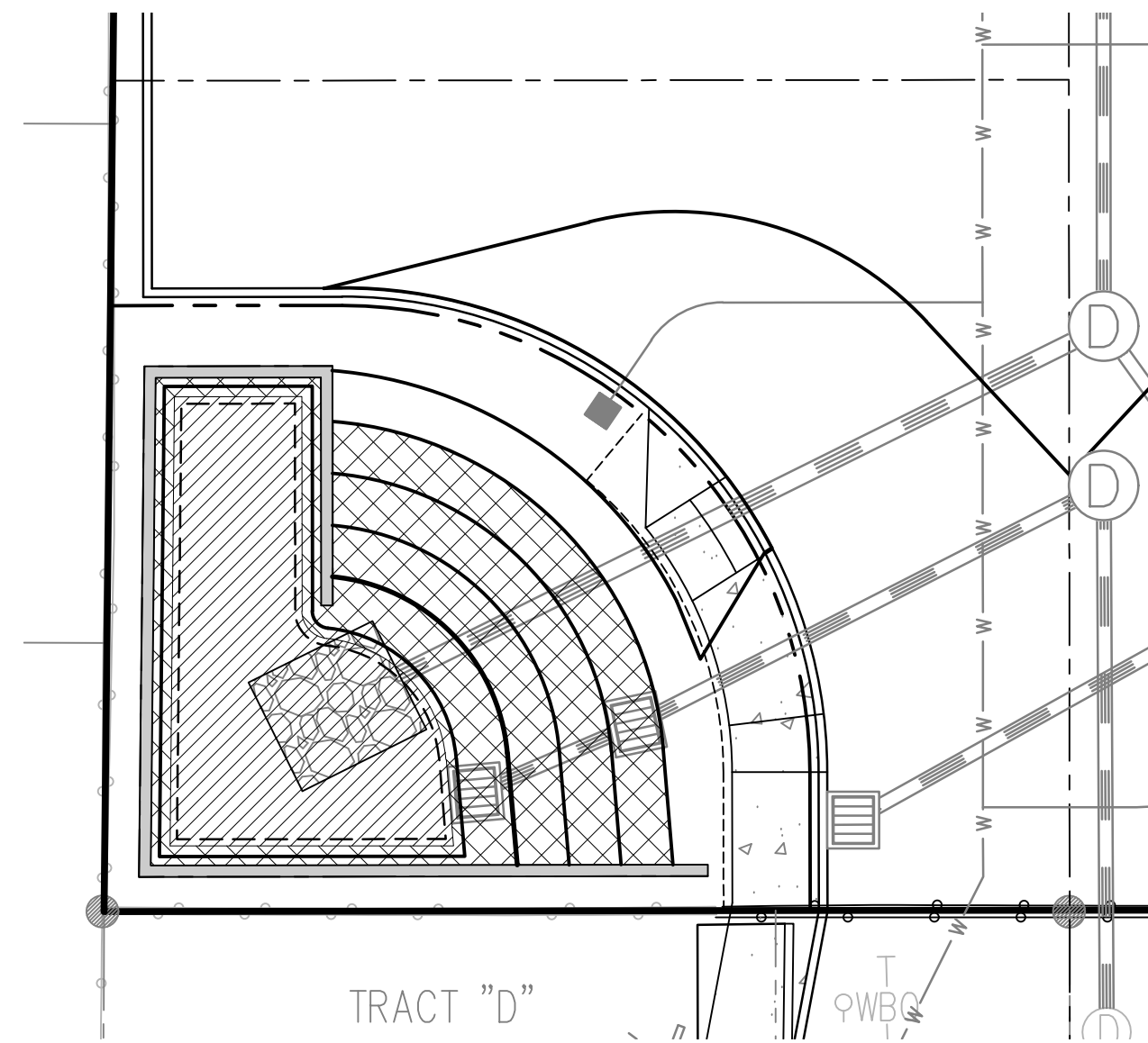
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PURL 9 of 9



CASEFILE: PA2024-00039



**PLANTING LEGEND**

- SATURATED ZONE  
284 SQ. FT.
- WET TO MOIST TRANSITION ZONE  
401 SQ. FT.

**PRELIMINARY WATER QUALITY PLANTING PLAN**

SCALE: 1"=10'

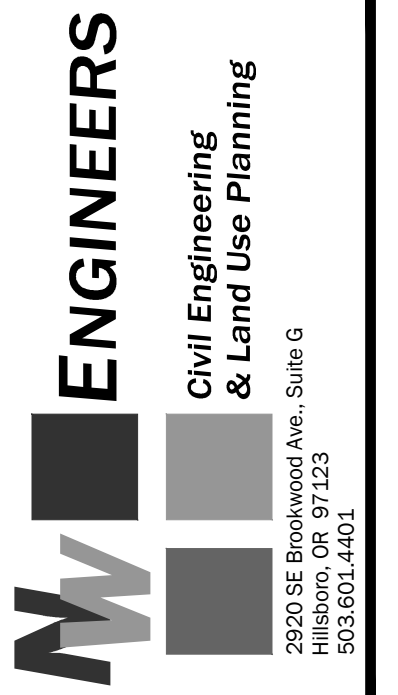
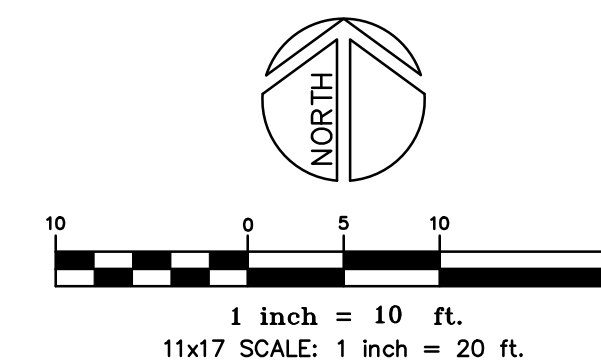
PLANTING SCHEDULE									
COMMON NAME	SCIENTIFIC NAME	PLANT TYPE	LIGHT REQUIREMENTS	MIN. ROOTING SIZE	MIN. PLANTING HEIGHT	SPACING ON CENTER	SPACING FORMAT	TOTAL	
SATURATED ZONE									
ROSSI SEDGE	<i>Carex rossi</i>	HERBACEOUS	SUN / PART SHADE	1" PLUGS	6"	4"	MASS	568	
SLOUGH SEDGE	<i>Carex obnupta</i>	HERBACEOUS	SUN / PART SHADE	1" PLUGS	6"	4"	MASS	568	
SMALL-FRUITED BULRUSH	<i>Scirpus microcarpus</i>	HERBACEOUS	SUN / PART SHADE	1" PLUGS	6"	4"	MASS	568	
HERB SUBTOTAL								1,704	
TREATMENT AREA TOTAL								1,704	
WET TO MOIST TRANSITION ZONE									
RED-OSIER DOGWOOD	<i>Cornus sericea</i>	SHRUB	SUN / PART SHADE	1 GALLON	2'	4-5'	CLUSTER	15	
DOUGLAS SPIRAEA	<i>Spiraea douglasii</i>	SHRUB	SUN / PART SHADE	1 GALLON	1.5'	4-5'	CLUSTER	6	
SHRUB SUBTOTAL								21	
MID-SLOPE AREA TOTAL								21	
WATER QUALITY FACILITY AREA TOTAL								1,725	

PLANTING RATES						
PLANT TYPE	PLANTING AREA (SQ FT)	PLANTING DENSITY (PER SQ FT)	NUMBER OF PLANTS	NUMBER OF SPECIES		
SATURATED ZONE 284 SQ.FT.						
HERBS	284	X	6	=	1,704	3
WET TO MOIST TRANSITION ZONE 401 SQ.FT.						
SHRUBS	401	X	0.05	=	21	2

ALL AREAS OF DISTURBED SOILS ASSOCIATED WITH THE WATER QUALITY FACILITY SHALL BE RESEEDED WITH AN APPROVED EROSION CONTROL SEED MIX AS LISTED IN THE TABLE BELOW. THE HYDROSEED APPLICATION RATE SHALL BE 100 POUNDS PER ACRE OR A BROADCAST APPLICATION RATE OF 120 POUNDS PER ACRE. 100% AERIAL COVERAGE SHALL BE ACHIEVED.

EROSION CONTROL SEED MIX (100% coverage of all areas other than Treatment Area)			
Scientific Name	Common Name	% of Mixture by PLS**	
<i>Festuca arundinacea</i>	Dwarf tall fescue	40	FACW
<i>Lolium perenne</i>	Dwarf perennial rye	30	FACU
<i>Festuca rubra</i>	Creeping Red fescue	25	FACU
<i>Agrostis capillaris</i>	Colonial bentgrass	5	FACU

\* Pure Live Seed

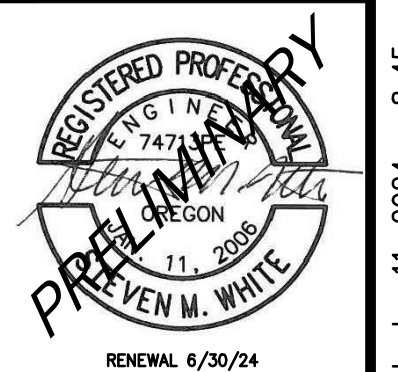


FOR: KIM-HIEN NGUYEN  
WESTPORT VILLAGE, LLC  
15 DUBERSTEIN DRIVE  
SAN RAMON, CA 94583  
SITE: TAX MAP 1S1117AD  
TAX LOT 600  
CITY OF BEAVERTON, OREGON

WESTPORT VILLAGE  
7-LOT SUBDIVISION  
N0696  
PRELIMINARY WATER QUALITY  
FACILITY PLANTING PLAN

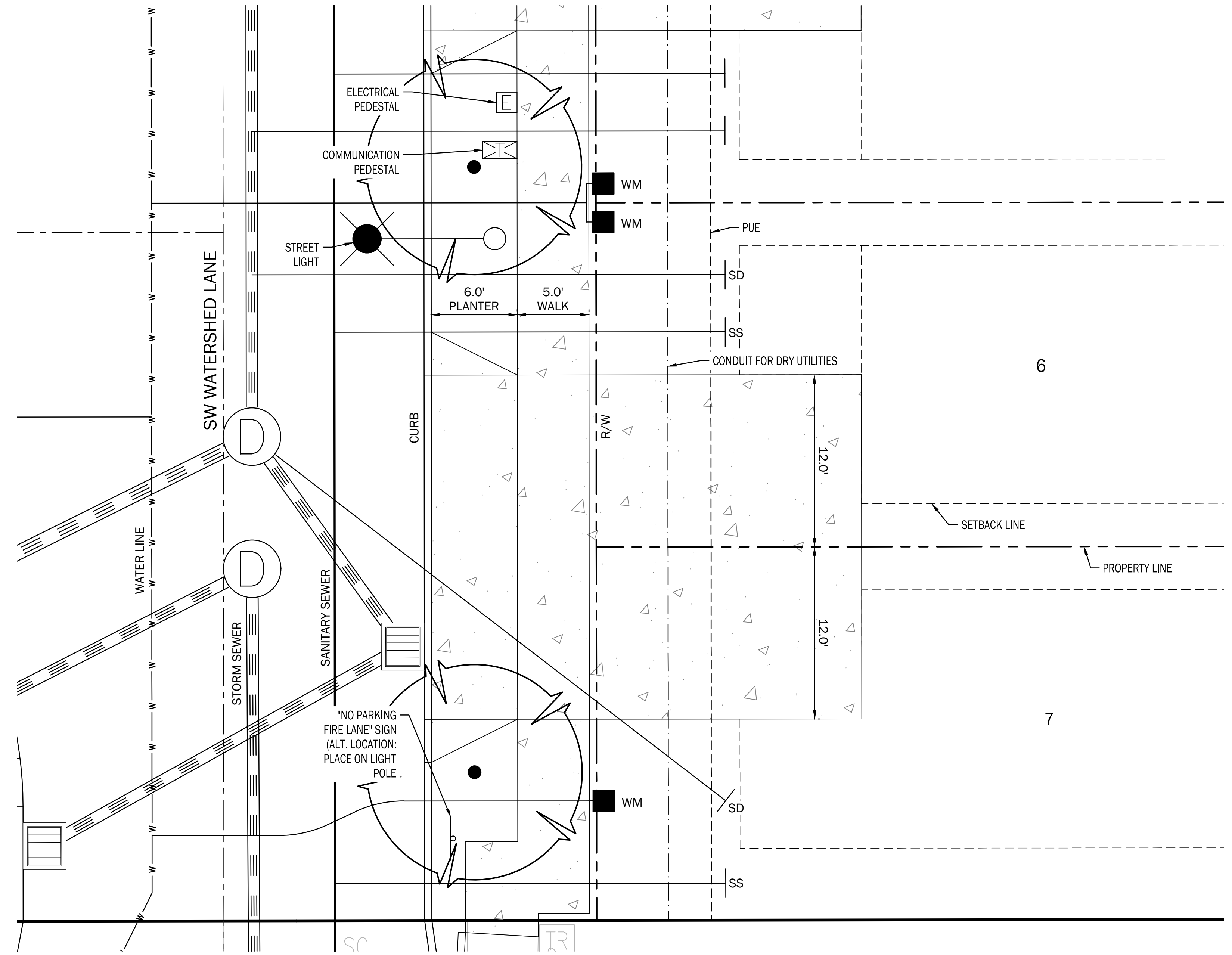
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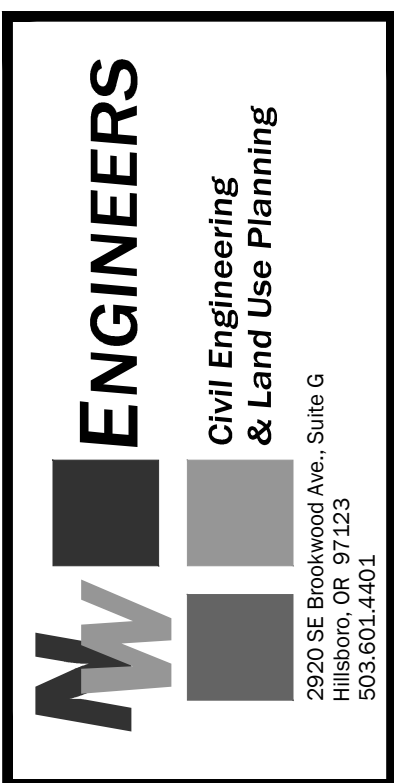
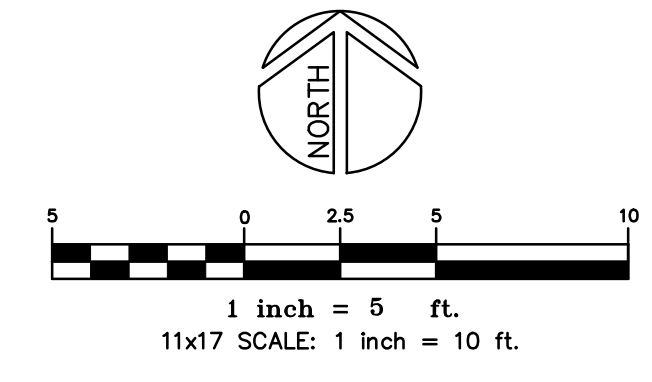
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CASEFILE: PA2024-00039



SS - SANITARY SEWER LATERAL  
SD - STORM DRAIN LATERAL  
WM - WATER METER

NOTE: PROVIDE SANITARY SEWER & STORM SEWER CLEANOUTS AT END OF LATERAL ON PRIVATE LOT

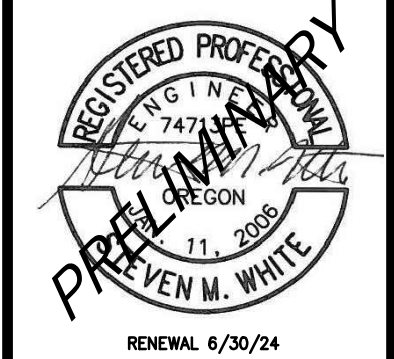


FOR: KIM-HIEN NGUYEN  
WESTPORT VILLAGE, LLC  
15 DUBERSTEIN DRIVE  
SAN RAMON, CA 94583  
SITE: TAX MAP 1S1117AD  
TAX LOT 600  
CITY OF BEAVERTON, OREGON

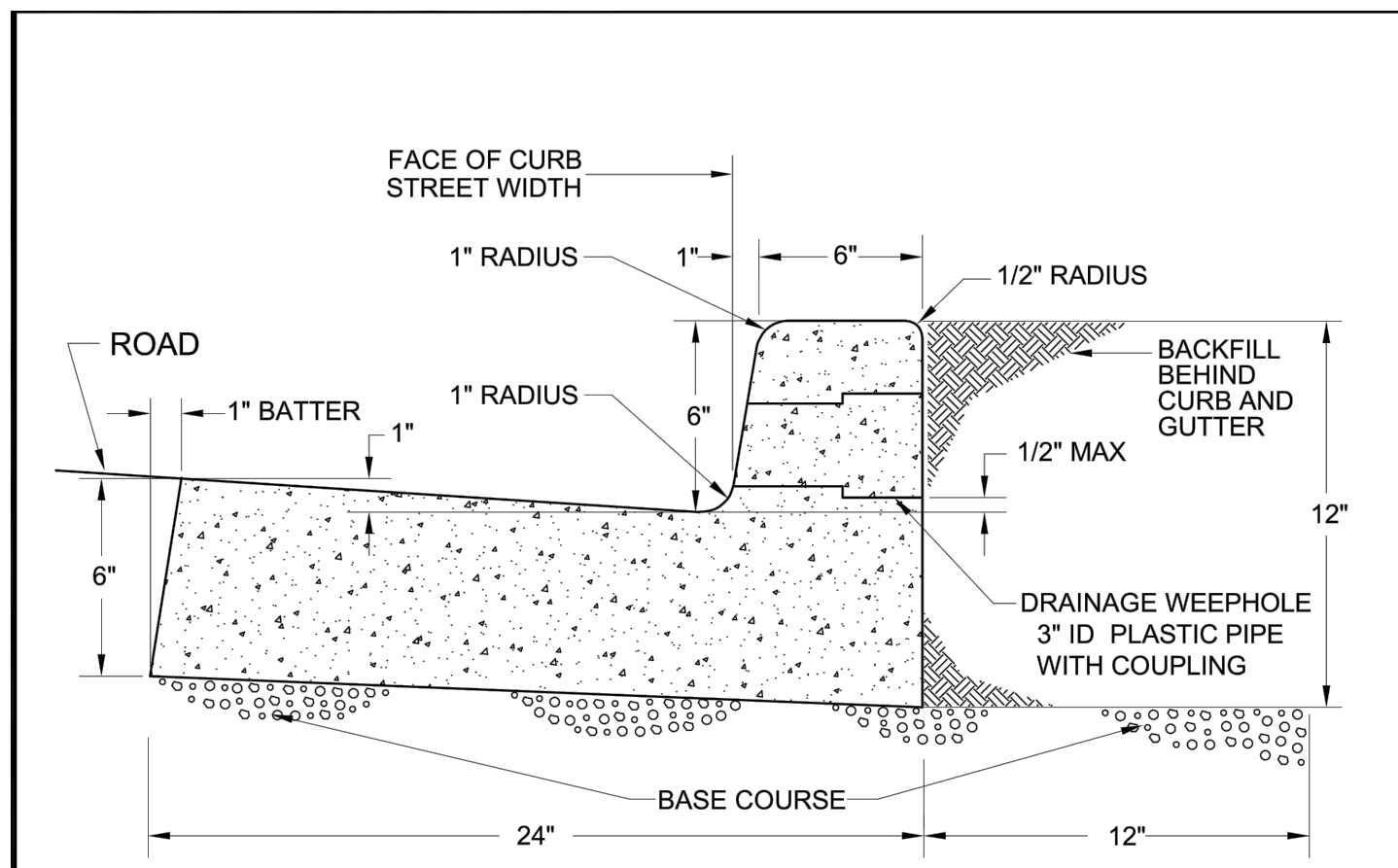
WESTPORT VILLAGE  
7-LOT SUBDIVISION  
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TYPICAL LOT FRONTAGE PLAN

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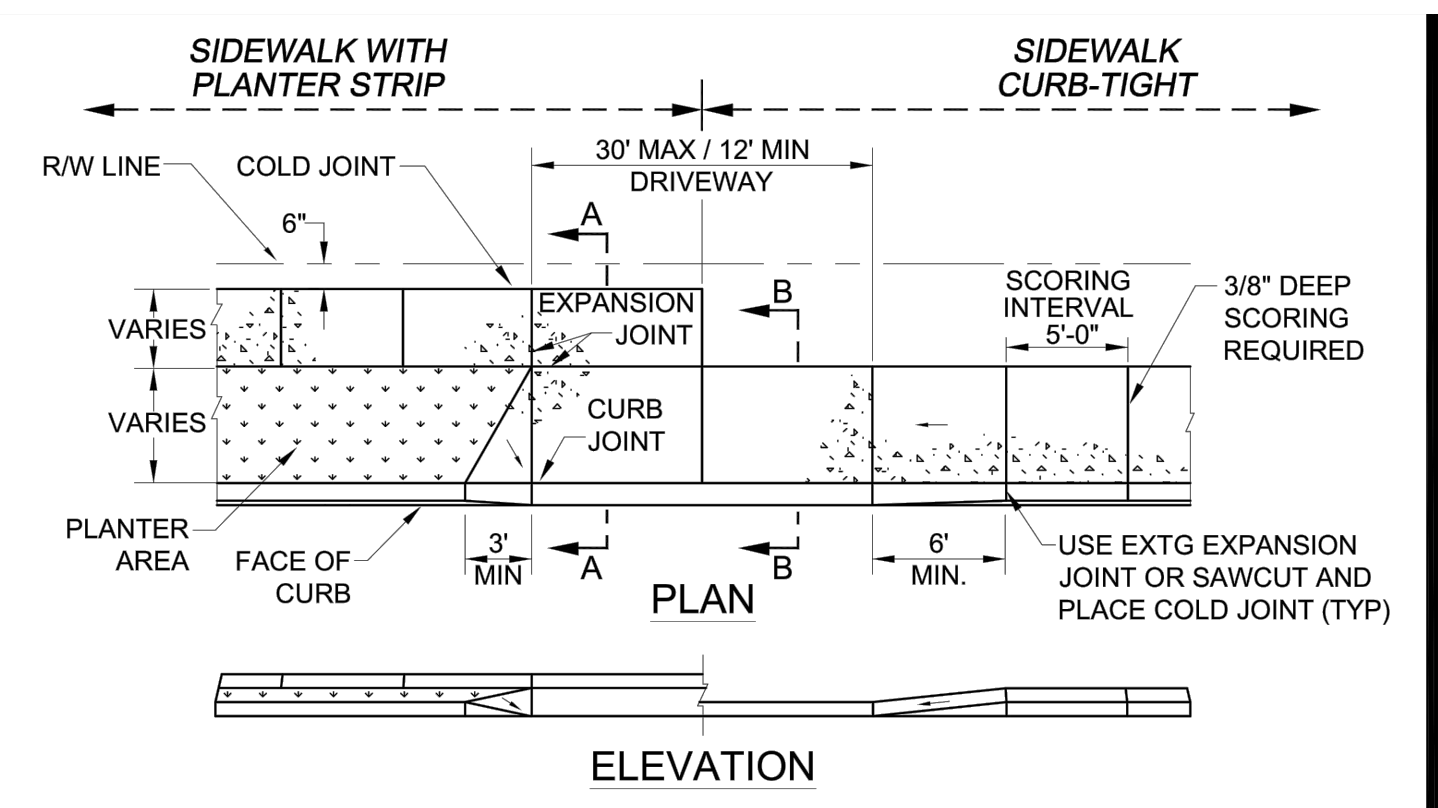
DESIGNED	DRAWN	REVIEWED	SUBMITTAL



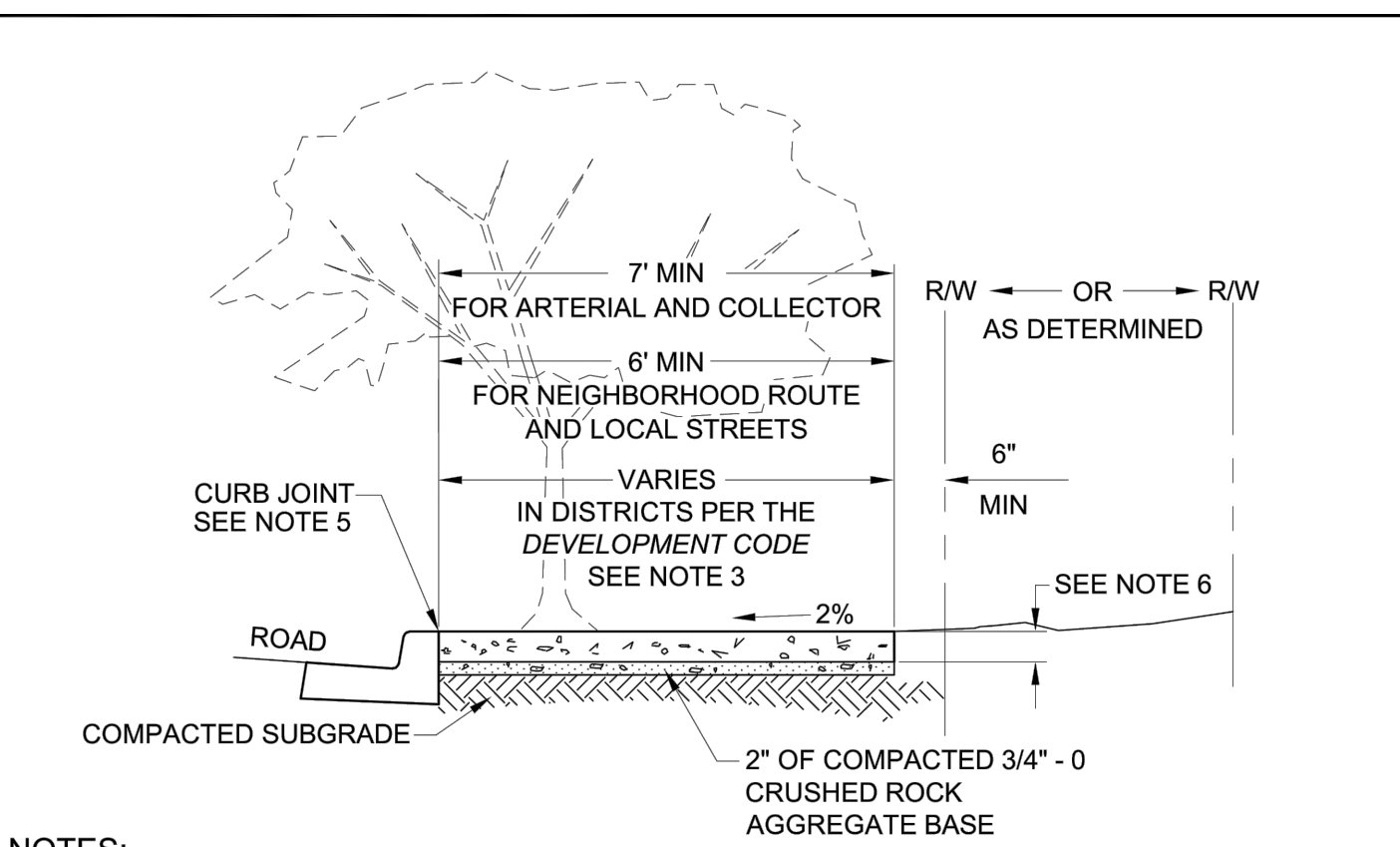
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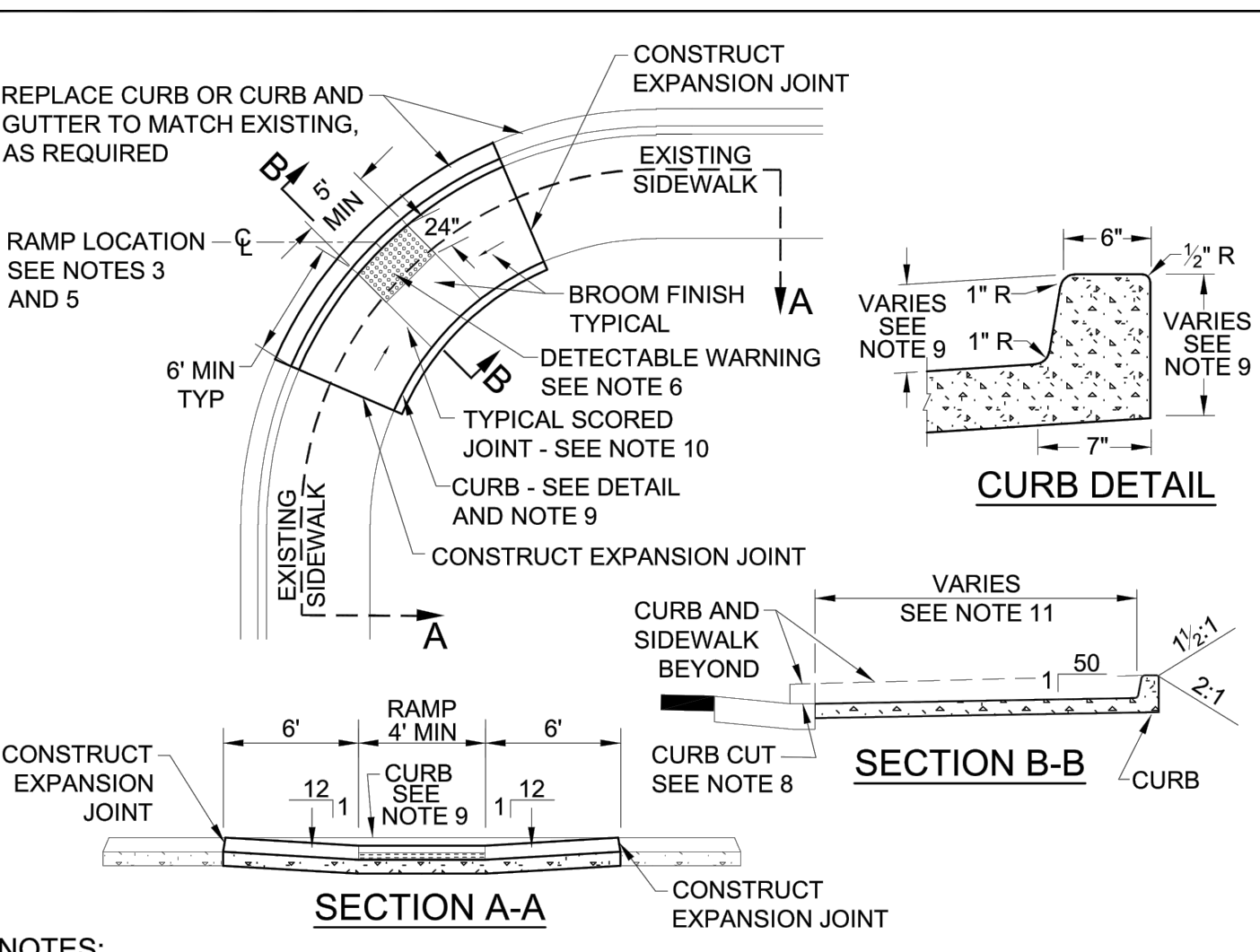
- NOTES:**
- For use along medians, gutters may be reduced when preapproved by City Engineer.
  - Concrete to have compressive strength of 4,000 psi at 28 days.
  - Expansion joints to be provided at each:
    - Point of tangency.
    - Cold joint.
    - Side of inlet structures.
    - Side of driveways.
  - Expansion joint material to be pre-molded, asphalt impregnated, non-extruding, with a thickness of 1/2 inch.
  - Contraction Joints shall have:
    - Spacing of not more than 15 feet.
    - Depth of joint of at least 1 1/2 inches.
  - Base rock 1 1/2"-0 or 3/4"-0, 95% (AASHTO T-180) compaction. Base rock shall be to subgrade of street structure or 7.5 inches, whichever is greater, and shall extend 12 inches behind the curb.
  - Drainage weephole shall be:
    - 3-inch diameter I.D. plastic pipe with coupling and beveled outlet end to match face of curb.
    - Centered with contraction joints.
    - Core-drilled through existing curbs for drainage access.
  - Proof roll subgrade and base rock section prior to placement of curb.



- NOTES:**
- Section A-A may be used for curb-tight sidewalk driveway aprons if sidewalks width is 10' or more.
  - Concrete shall have a minimum breaking strength of 4,000 psi after 28 days.
  - Finish with broom and edge all joints.
  - If curbing is being removed to install a driveway and the gutter should become separated from the driving surface in excess of 1/16 inch, then the gutter shall also be removed and replaced.
  - Curb joint shall be a troweled joint with a minimum 1/2 inch radius along back of curb.
  - Expansion joints shall be 1/2 inch pre-molded asphalt impregnated material, cedar or approved equal extending from top of base to finished grade.
  - Weepholes shall not be placed in wing.
  - Slope of the driveway may be away from the curb when preapproved by City Engineer.
  - Refer to *Beaverton Development Code* for additional driveway requirements.



- NOTES:**
- Curb tight sidewalks **REQUIRE PREAPPROVAL** by the City Engineer. They are used for sidewalk repairs, replacements and installations in existing developments. Match width of existing sidewalks, and widths and lengths of existing sidewalk panels.
  - Concrete shall have a minimum compressive strength of 4,000 psi at 28 days, For slump see specifications.
  - Sidewalk panels shall be square with their length equal to the sidewalk's width, except that sidewalks in the Regional Center, Town Center, Station Area and Station Community districts may be wider than 6 feet, in which cases their panels may be 4 to 6 feet square, but all of equal size.
  - Expansion joints to be placed at sides of driveway approaches, utility vaults, sidewalk ramps and/or at points of tangency in curb as shown on the standard drawings for sidewalk ramps and at spacing not to exceed 45 feet.
  - For sidewalks adjacent to the curb and poured at the same time as the curb, the joint between them shall be troweled with a minimum 1/2 inch radius.
  - Sidewalk shall have a minimum thickness of 4 inches, except that sidewalk that is intended as a portion of a driveway shall have a minimum thickness of 6 inches. See Drawings 210 & 211.
  - Where vehicular access across sidewalk is required by City, a 40 foot long section of sidewalk shall be provided in the access area, shall be 6-inches thick and shall be reinforced with 6"x6"x10 gal steel mesh. Location of 40 foot long section to be as directed by City Engineer.
  - Finish with broom and edge all joints.
  - Street trees, treewells and grates are required except where specifically modified or waived in writing by the City Engineer.
  - For sidewalk widths around grated treewells, and tree grate requirements, see *Beaverton Standard Dwg 241*.



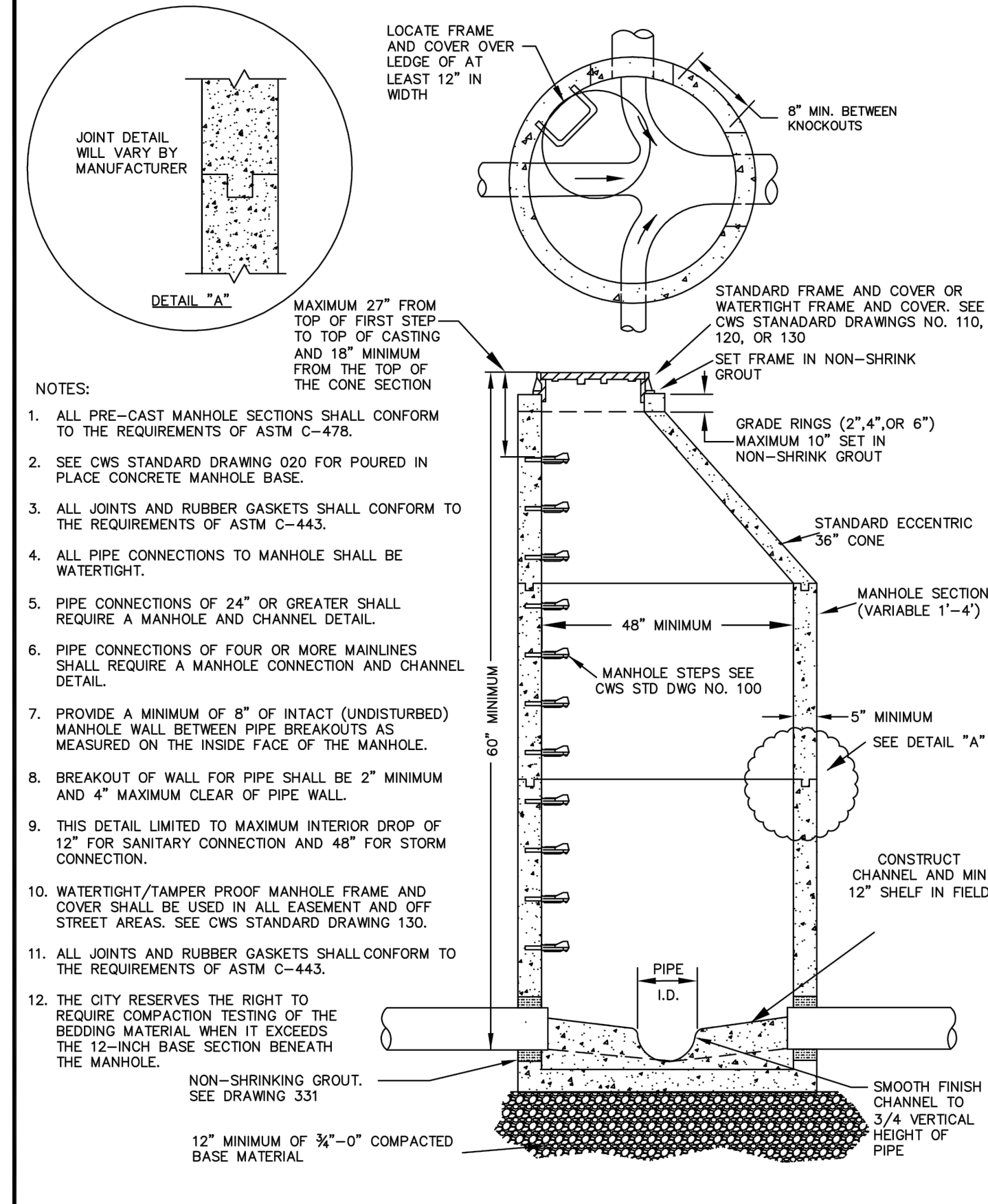
- NOTES:**
- Retrofit ramp **REQUIRES PREAPPROVAL** by the City Engineer.
  - Sidewalk ramp shall meet *ADA Standards*.
  - This drawing is for retrofitted ramps only, where site constraints prohibit installing two ramps. The Engineer shall prepare a site-specific drawing for each ramp, accepting full responsibility for correcting all unacceptable ramp construction resulting from applying this drawing "as is".
  - Sawcut and remove the existing sidewalk, curb and gutter to the nearest cold joint.
  - Each ramp shall be located relative to crosswalk or stop line.
  - Detectable warning shall be 24 inches long in the direction of travel and full width of the ramp, made of concrete imbedded yellow tiles, that have truncated domes aligned on a square grid with its gridlines parallel and perpendicular to the centerline of the ramp, from the approved list in the *Engineering Design Manual, Sec 210.10*.
  - Concrete shall have a compressive strength of 4,000 psi at 28 days.
  - Bevel the curb cut from gutter to back of curb at 8.33% (1:12).
  - Construct curb with varying exposure tapered longitudinally so that the top of the curb matches the normal projected back of sidewalk as shown in section B-B.
  - Score at grade changes, surface texture changes and at other points shown. Edges shall be shined.
  - For sidewalk widths, see *drawing 216*.
  - Curb inlet or catch basin shall not be allowed in front of sidewalk ramp.

**Beaverton ENGINEERS** | **STANDARD MONOLITHIC CURB AND GUTTER** | SCALE: NONE | DATE: JUNE 2018 | **205**

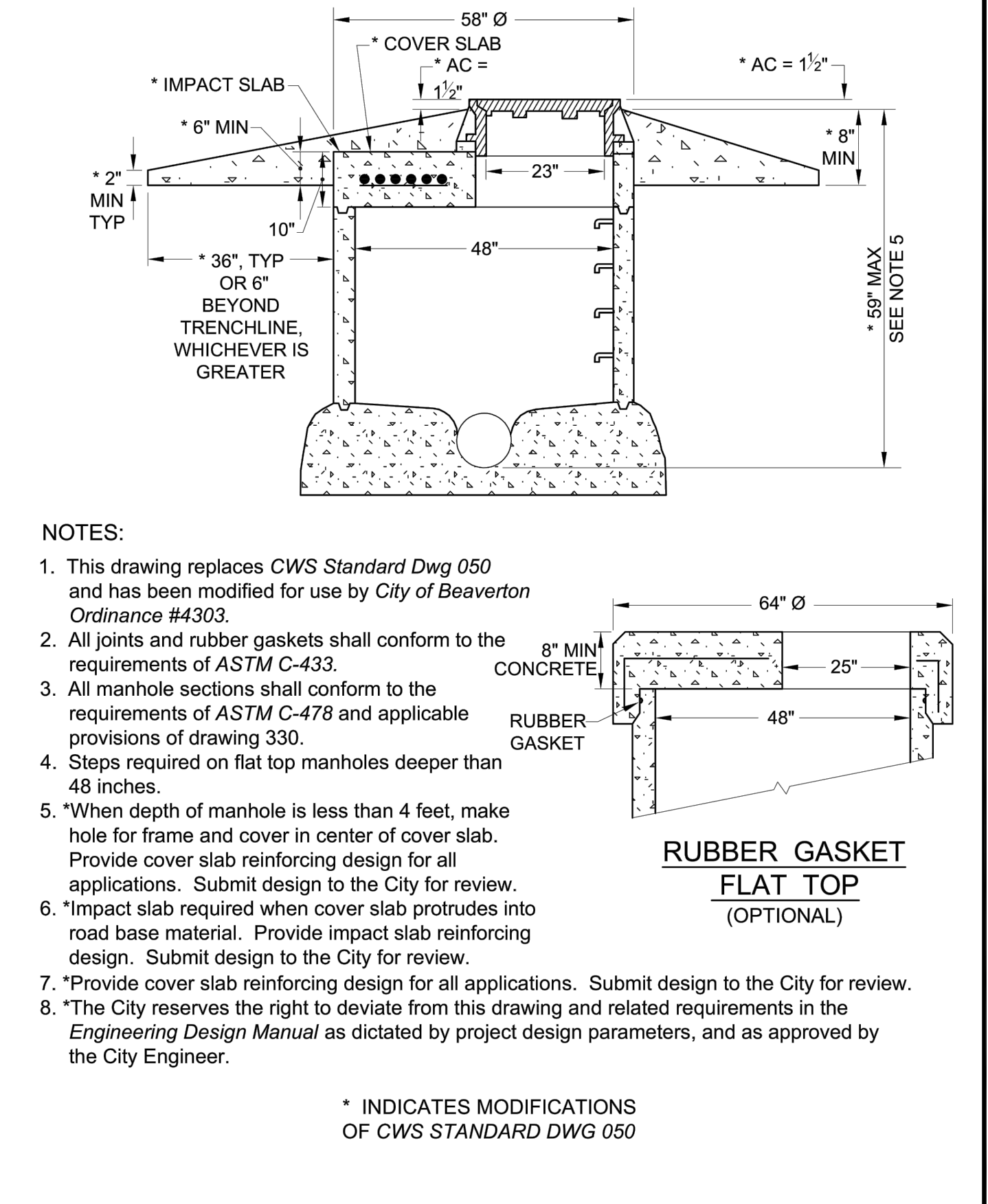
**Beaverton ENGINEERS** | **STANDARD RESIDENTIAL DRIVEWAY** | SCALE: NONE | DATE: JUNE 2018 | **211**

**Beaverton ENGINEERS** | **CURB TIGHT SIDEWALK** | SCALE: NONE | DATE: JUNE 2018 | **216**

**Beaverton ENGINEERS** | **RETROFIT CURB TIGHT SINGLE SIDEWALK RAMP** | SCALE: NONE | DATE: JUNE 2018 | **233**



**Beaverton ENGINEERS** | **CWS STANDARD MANHOLE WITH C.O.B. MODIFICATIONS** | SCALE: NONE | DATE: JUNE 2018 | **330**



**Beaverton ENGINEERS** | **CWS FLAT TOP MANHOLE WITH C.O.B. MODIFICATIONS** | SCALE: NONE | DATE: JUNE 2018 | **335**

**ENGINEERS**  
Civil Engineering & Land Use Planning  
2920 SE Greenwood Ave., Suite G  
Hillsboro, OR 97123  
503.601.4401

FOR: KIM-HIEN NGUYEN  
WESTPORT VILLAGE, LLC  
15 DUBERSTEIN DRIVE  
SAN RAMON, CA 94583  
SITE: TAX MAP 153.117AD  
TAX LOT 600  
CITY OF BEAVERTON, OREGON

WESTPORT VILLAGE  
7-LOT SUBDIVISION  
N0696  
CITY OF BEAVERTON  
STANDARD DETAILS

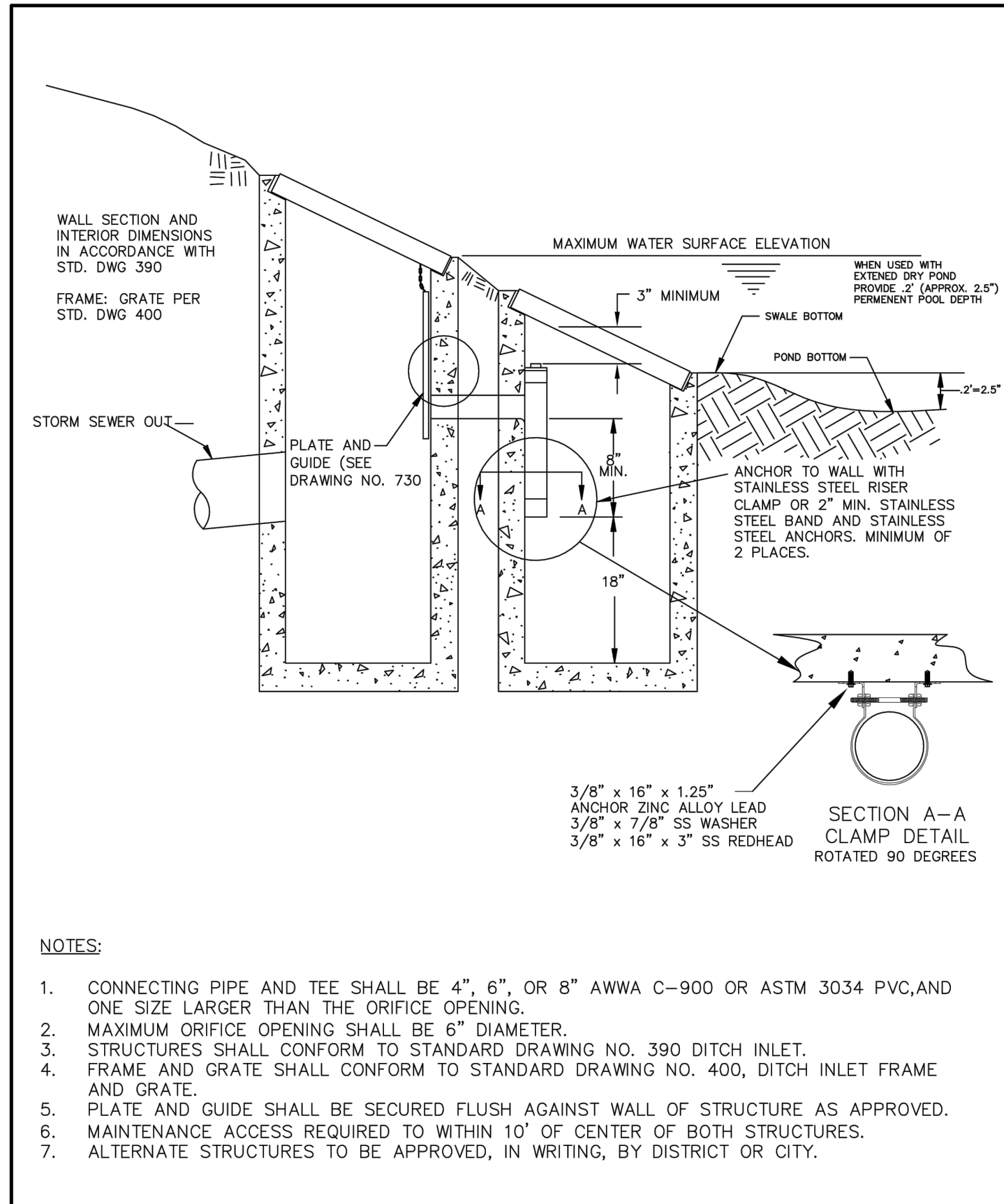
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DRAWN: [Signature]  
REVIEWED: [Signature]  
SUBMITTAL: [Signature]  
REGISTERED PROFESSIONAL ENGINEER  
PRESTON M. WHITE  
RENEWAL 6/30/24

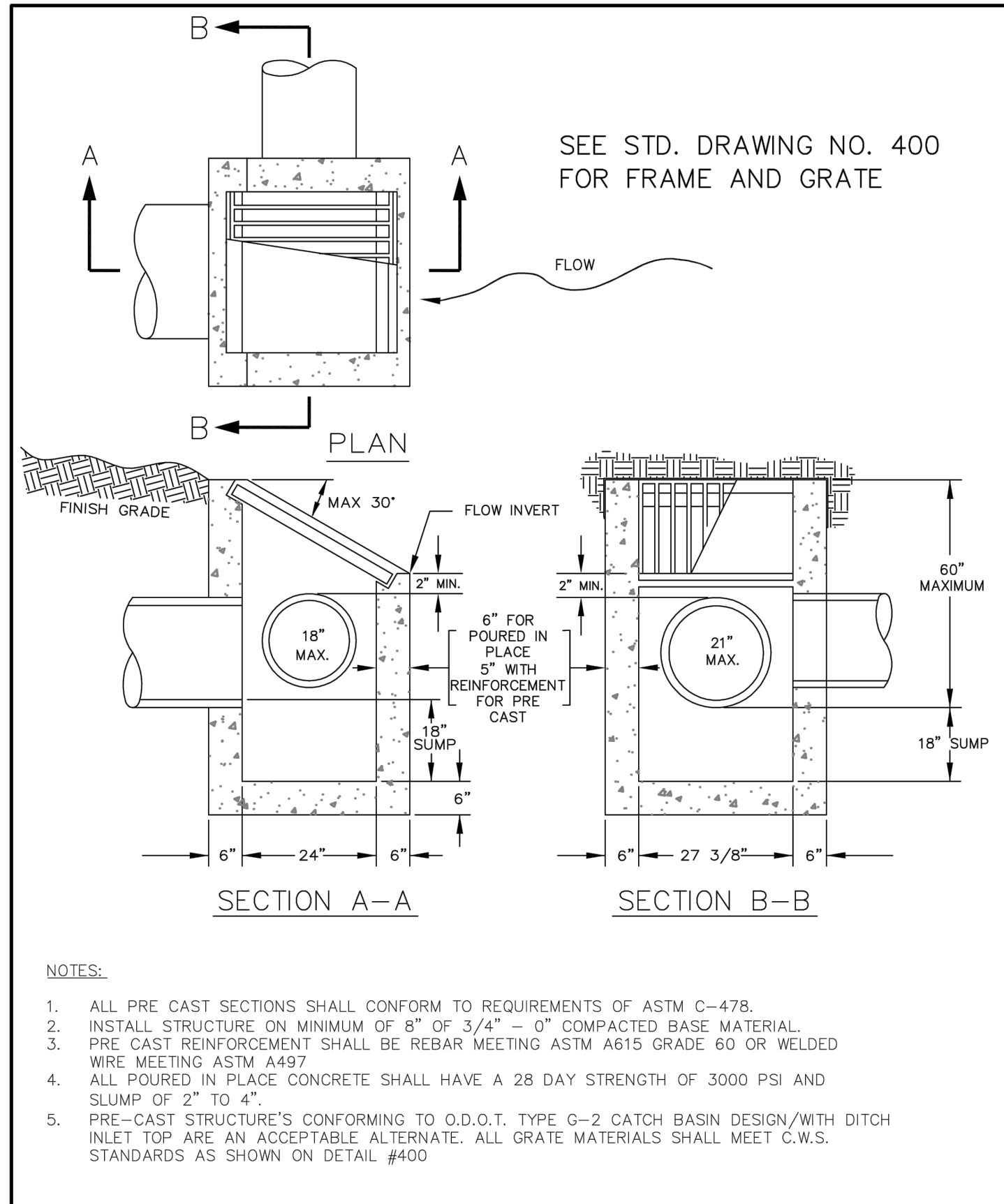
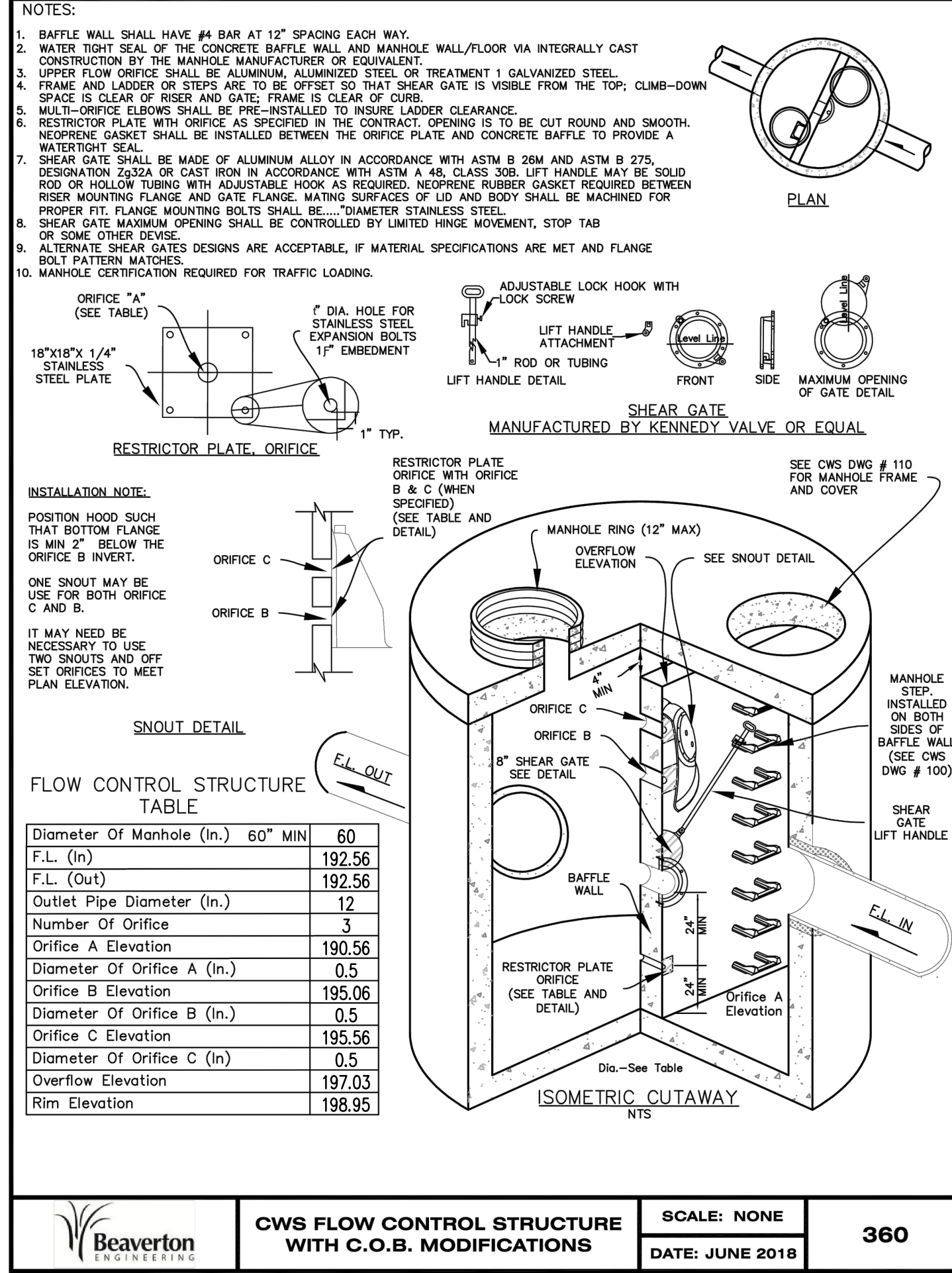
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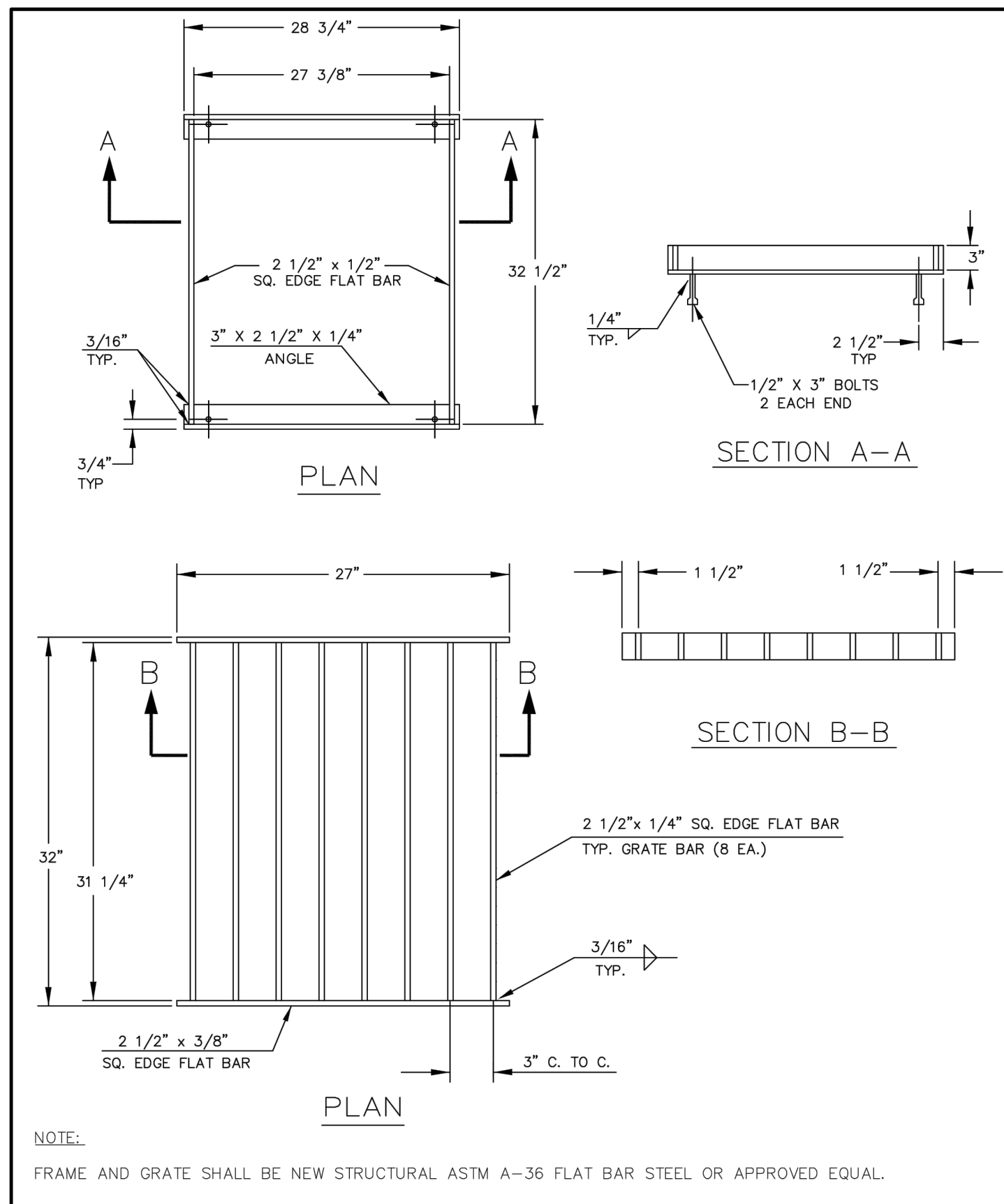
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**OUTFLOW CONTROL STRUCTURE**  
DRAWING NO. 710 REVISED 10-31-19



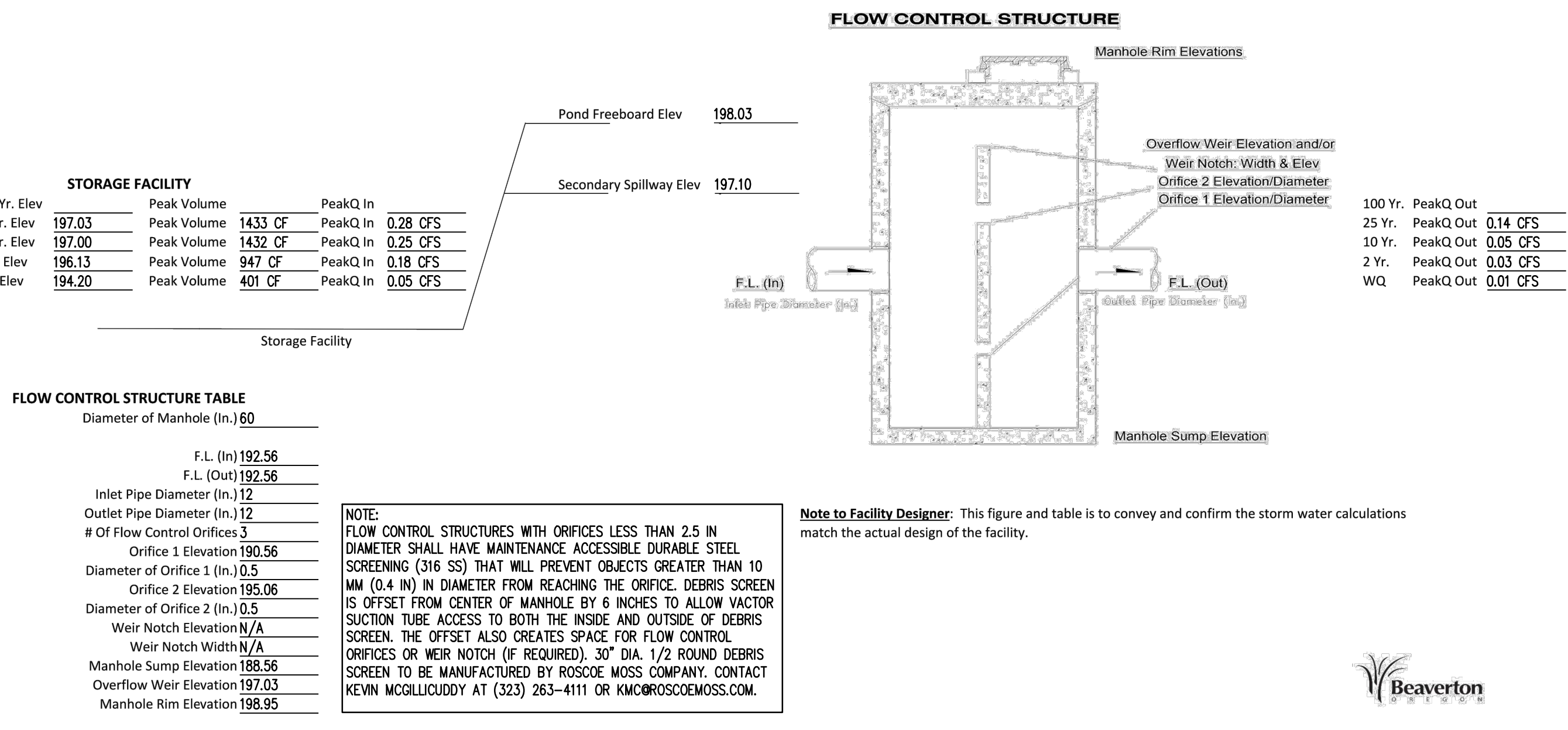
**DITCH INLET**  
DRAWING NO. 390 REVISED 10-31-19



**DITCH INLET FRAME AND GRATE**  
DRAWING NO. 400 REVISED 10-31-19



Figure 510.5 - Flow Control Detail

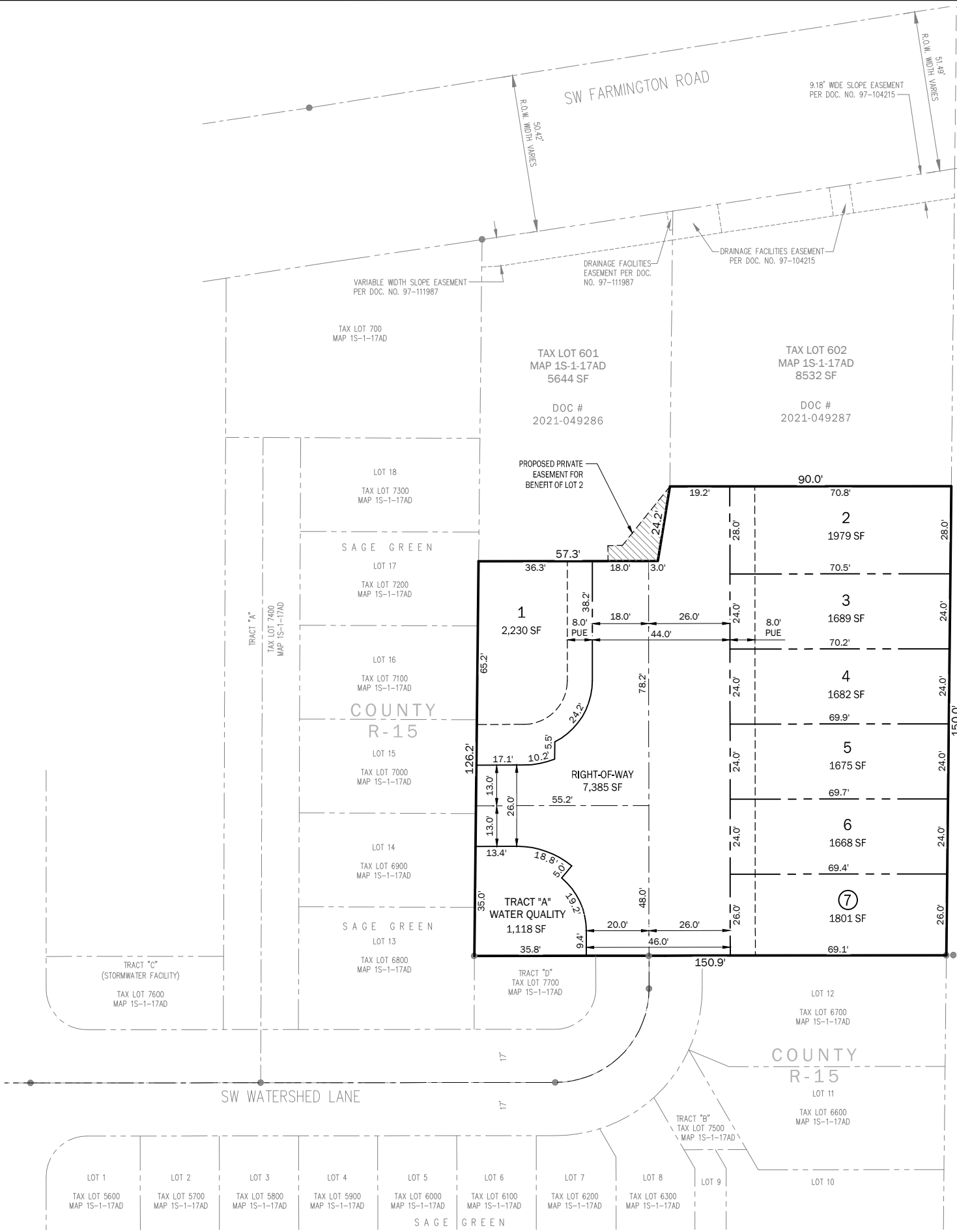


**NOTE:**  
FLOW CONTROL STRUCTURES WITH ORIFICES LESS THAN 2.5 IN DIAMETER SHALL HAVE MAINTENANCE ACCESSIBLE DURABLE STEEL SCREENING (3/16 SS) THAT WILL PREVENT OBJECTS GREATER THAN 10 MM (0.4 IN) IN DIAMETER FROM REACHING THE ORIFICE. DEBRIS SCREEN IS OFFSET FROM CENTER OF MANHOLE BY 6 INCHES TO ALLOW VACUOR SUCTION TUBE ACCESS TO BOTH THE INSIDE AND OUTSIDE OF DEBRIS SCREEN. THE OFFSET ALSO CREATES SPACE FOR FLOW CONTROL ORIFICES OR WEIR NOTCH (IF REQUIRED). 30" DIA. 1/2 ROUND DEBRIS SCREEN TO BE MANUFACTURED BY ROSCOE MOSS COMPANY. CONTACT KEVIN MCGILLICUDDY AT (323) 263-4111 OR KMC@ROSCOE.MOSS.COM.

**Note to Facility Designer:** This figure and table is to convey and confirm the storm water calculations match the actual design of the facility.



Provided courtesy of DOWL Engineers



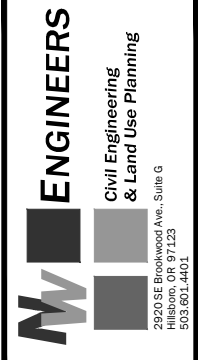
**SITE INFORMATION**

SITE ADDRESS: NO SITUS  
 JURISDICTION: CITY OF BEAVERTON  
 PARCEL ID: TAX LOT 600, MAP 1S-1-17AD  
 LAND USE DISTRICT: RMA  
 SITE SIZE: 21,226 SF  
 MIN. LOT SIZE: 1,500 SF  
 PROPOSED AVERAGE LOT SIZE: 1,818 SF

**Received  
 Planning Division  
 7/19/2024**

**NET DENSITY**

GROSS ACREAGE: 0.49 ACRE (21,226 SF)  
 R/W DEDICATION: 0.17 ACRE (7,385 SF)  
 NET ACREAGE: 0.32 ACRE (13,841 SF)  
 MIN. NUMBER OF REQUIRED DWELLING UNITS: 13,841 SF/43,560 SF x 17 UNITS/ACRE = 5.4 or 5 UNITS

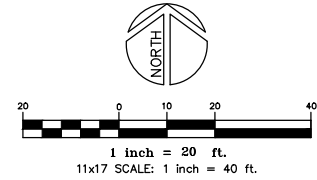
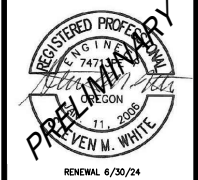


FOR: KIM-HIEN NGUYEN  
 WESTPORT VILLAGE, LLC  
 15 DUBERSTEIN DRIVE  
 SAN RAMON, CA 94583  
 SITE: TAX MAP 1S1117AD  
 TAX LOT 600  
 CITY OF BEAVERTON, OREGON

**WESTPORT VILLAGE  
 7-LOT SUBDIVISION  
 N0696  
 PRELIMINARY PLAT**

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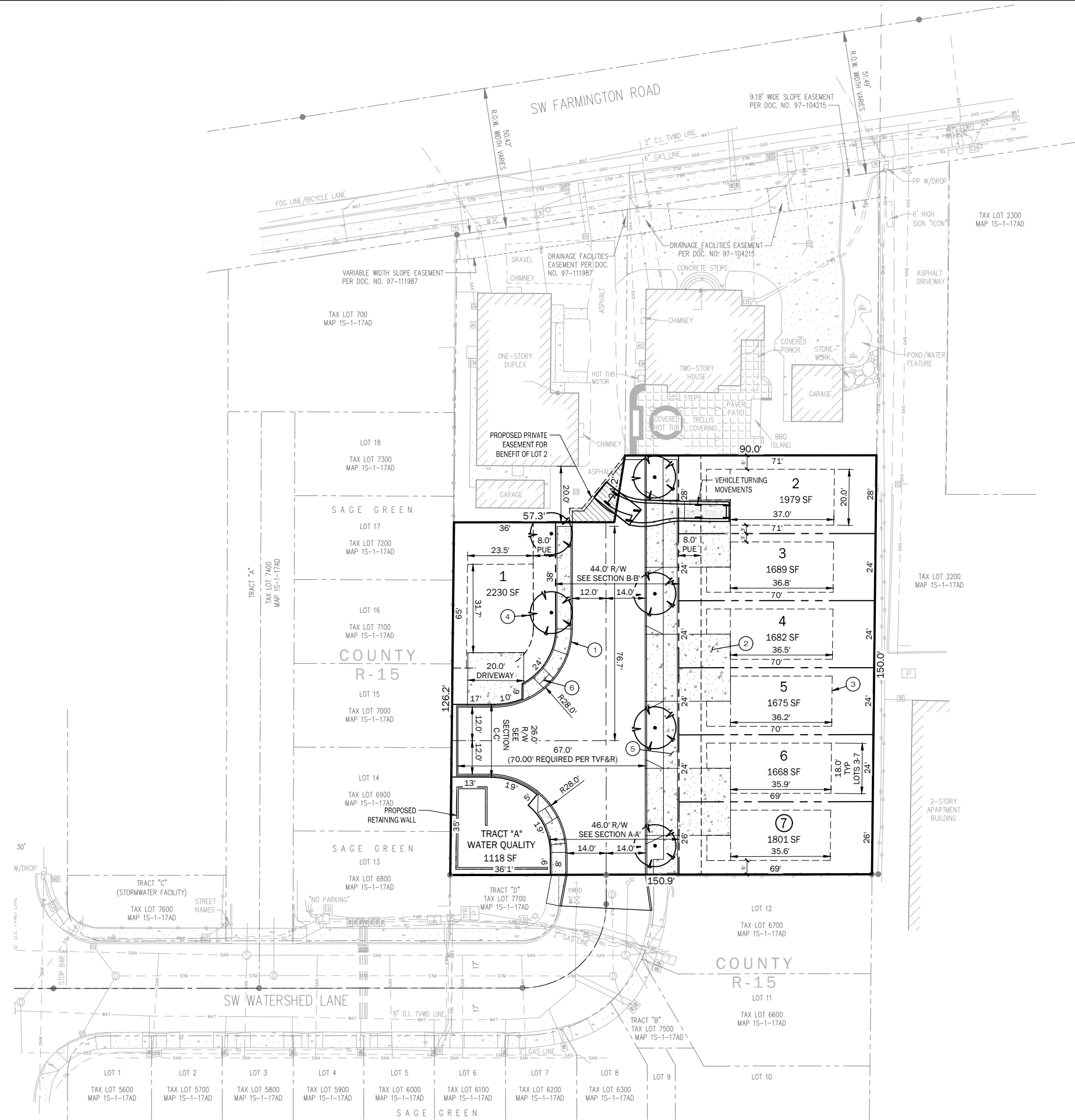
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CASEFILE: PA2024-00039

PPLT **4** of 9





**MIN. SETBACK REQUIREMENTS: RMA**

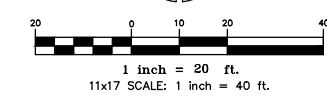
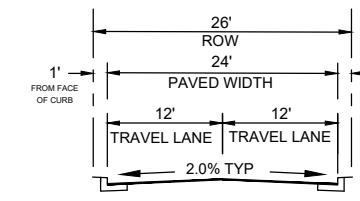
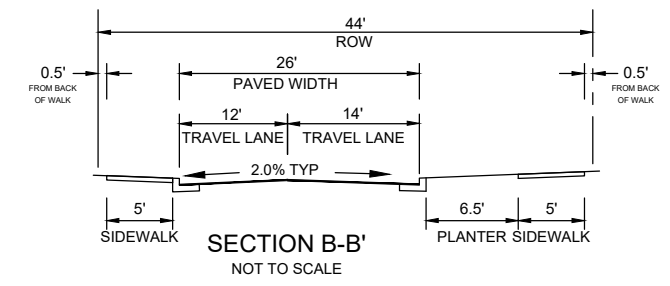
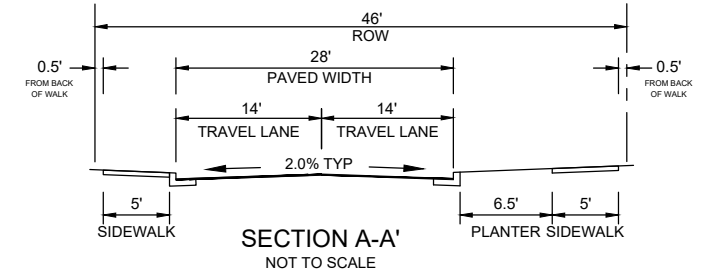
- FRONT: 10 FT
- SIDE: 3 FT (OR 5 FT IF ABUTTING A LOWER DENSITY RESIDENTIAL ZONE)
- REAR: 15 FT
- GARAGE: 18.5 FT

**GENERAL NOTE:**

SEE SHEET 3, 'EXISTING CONDITIONS' FOR EXISTING FEATURES LEGEND.

**KEY NOTES**

- ① PROPOSED CURB
- ② PROPOSED 24-FT. WIDE x 18.5-FT. DEEP SHARED DRIVEWAY
- ③ BUILDING SETBACK
- ④ PROPOSED STREET TREE
- ⑤ PROPOSED 5-FT. SIDEWALK
- ⑥ PROPOSED A.D.A. RAMP



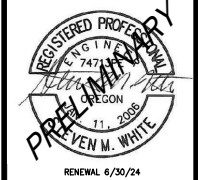
**MW ENGINEERS**  
 Civil Engineering & Land Use Planning  
 2930 SE Brookwood Ave., Suite G  
 Hillsboro, OR 97123  
 503.601.4401

FOR: KIM-HIEN NGUYEN  
 WESTPORT VILLAGE, LLC  
 15 DUBERSTEIN DRIVE  
 SAN RAMON, CA 94583  
 SITE: TAX MAP 1S.11.17AD  
 TAX LOT 600  
 CITY OF BEAVERTON, OREGON

WESTPORT VILLAGE  
 7-LOT SUBDIVISION  
 N0696  
 DIMENSIONED SITE PLAN

REVISION	BY	DATE
1		
2		
3		
4		
5		
6		
7		

DESIGNED	DRAWN	REVIEWED	SUBMITTAL



PSIT 5 of 9